

*Beo Properties Limited
6 Argus House
Greenmount office park
Harolds Cross
Dublin 6W
01 4732473*

*Mr Brendan Fulham
Housing Section
Meath County Council
Buvinda House
Dublin Road
Navan
Co Meath*

6th May 2022

RE: SHD Application 452 Units Ratoath Co Meath

Dear Brendan,

As per our previous conversations, please find details of Part V units we are proposing in Ratoath, Co Meath as Part V obligation.

This Development was acquired during the years that qualify for 10% Part V.

We are offering 45 units as follows.

25 * 2 Bed Apartments. Type D1, D2, D3 Drawings attached in Neighbourhoods (A,C,K & H).

6 *3 Bed Houses (3*2 Type A2), (3* Type B1). Neighbourhoods E,H & L.

4 *3 Bed Maisonette (Type M6) Neighbour C & H.

10 * 1 Bed Maisonette. (Type M5) Neighbourhood C,G & L

Total 45 Units

The overall Sqm Area on the site is 54,174 Sqm. I have attached the schedule.

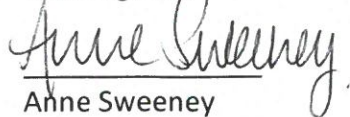
These 45 units add up to 4171 sqm. (5417 Sqm). There is a 1246 sqm shortfall which will be a monetary reduction for the proposed 45 unit.

I attach a template for this.

I have also attached the relevant drawings of each unit and a site layout identifying the units.

If you require any further information, please do not hesitate to contact me.

Kind regards,



Anne Sweeney
Beo Properties Ltd



RATOATH SOUTH SHD
 Job Number: 21088
 MAY 2022

Document Register

RKD Architects Project Managers
 Interior Designers
 59 Northumberland Road Dublin 4

CLIENT	Beo Properties Ltd
ARCHITECTS	RKD Architects
PROJECT MANAGER	Floton Consulting
CIVIL & STRUCTURAL ENGINEERS	O'Connor Sutton Cronin
M&E ENGINEERS	BBSC Ltd
LANDSCAPE ARCHITECTS	Brady Shipman Martin
ECOLOGY CONSULTANT	Altamar Ltd
PLANNING CONSULTANT	KPMG Future Analytics
FIRE & DAC CONSULTANT	McCrae Consulting Engineers
LOCAL AUTHORITY	Meath County Council
PLANNING DEPARTMENT	An Bórd Pleanála

Part V Schedule of Accommodation

Neighbourhood	Unit Typology							Total
	A2	B1	M5	M6	D1	D2	D3	
A					5	5	5	15
B		1						0
C			2	2	5			7
D			2					0
E	1							0
F								0
G			2					0
H		1						0
J			2	2				2
K						5		5
L	1	1	2					0
M	1							0
Total per Type	3	3	10	4	10	10	5	45
%	7%	7%	22%	9%	22%	22%	11%	100%
GFA / Unit (sqm)	124	139.9	62.5	144.3	82.6	92.9	84.5	
Total GFA Area (sqm)	372	419.7	625	577.2	826	929	422.5	4171.4

Comhairle Chontae na Mí

Teach Buvinda, Bóthar Átha Cliath, An Uaimh,
Contae na Mí, C15 Y291

Fón: 046 – 9097000/Fax: 046 – 9097001

R-phost: customerservice@meathcoco.ie

Web: www.meath.ie

Uimhir Chláraithe: 00172770



Meath County Council

Buvinda House, Dublin Road, Navan,
Co. Meath, C15 Y291

Tel: 046 – 9097000/Fax: 046 – 9097001

E-mail: customerservice@meathcoco.ie

Web: www.meath.ie

Registration No.: 00172770

Housing Department - Direct Line 046 909 7255
9th May 2022.

Anne Sweeney
Beo Properties Ltd,
6 Argus House,
Greenmount Office Park,
Harlolds Cross,
Dublin 6W

“Subject to Agreement/ Agreement Denied”

Re: Part V proposal - SHD Application for 452 No. Residential units at Ratoath, Co. Meath .
Developer – Beo Properties Ltd

Dear Anne,

I refer to your proposals received in this office on the 19th April 2022 with subsequent clarifications regarding the provision of housing in accordance with the requirements of Section 94(4) and Sections 96(2) and (3), (Part V) of the Planning & Development Act 2000, as amended, for the above mentioned development.

Subject to being granted Planning Permission, the Housing Authority agrees in principle to your proposal to comply with your Part V requirement by means of the building and transfer of 45 No. Housing units to the ownership of the Planning Authority, or to the ownership of persons nominated by the authority in accordance with Part V, on the lands which is subject to an application for planning permission at Ratoath, Co. Meath

The following is a breakdown of units by unit type as identified on Drawing Number 21088 RKD-ZZ-ZZ-DR-A-1030 dated May 2022 which is acceptable to the Housing Authority:-

- 25 No. X 2 bedroom apartments Type D1, D2, and D3 in Neighbourhoods A, C, K, & H
- 6 No. X 3 Bedroom (3No. X Type A2) and (3 No. X Type B1) in Neighbourhoods E, H & L
- 4 No. X 3 Bedroom Maisonettes (Type M6) in Neighbourhoods C & H
- 10 No.X 1 Bedroom Maisonettes (Type M5) in Neighbourhoods C, G & L

Land valuations, unit costs, and internal finishes shall be agreed with the Housing Authority following the Grant of Planning Permission. The purchase of these housing units by the Housing Authority is subject to funding approval from the Department of Housing, Local Government and Heritage.

For the record, I would point out that Meath County Council engage in discussions/correspondence with Developers concerning their proposals for compliance with Part V on the basis that nothing is agreed until everything is agreed and that no agreement is deemed to be concluded until such time as a formal letter is issued from Meath County Council confirming compliance with Part V.

Yours faithfully,

Brendan Fulham
Administrative Officer

BEO Properties								
SHD Application Ratoath								
452 units								
Part V								
Site Cost 45 Sites	€ 745,000.00							
	€ -							
Balance value	€ 745,000.00							
	10	10	5	3	3	4	10	45
	82.6 sqm	92.9 sqm	84.5 sqm	124 sqm	139.9 sqm	144.30 sqm	62.5 sqm	
	D1 Type 2 Bed Apt 889 sq ft (Total 10)	D2 Type 2 Bed Apt 999 Sq Ft (Total 10)	D3 Type. 2 Bed Apt 909 Sq ft (Total 5)	A2 Type- 3 Bed 1334. sq ft (Total3)	B1 Type- 3 Bed 1505 sq ft (Total 2)	M6 Type- 3 Bed Massionette 144.3	10 1 bed Maisonettes 672 SQ Ft	Total
Construction cost	€ 156,940.00	€ 176,510.00	€ 160,550.00	€ 192,200.00	€ 216,845.00	€ 252,525.00	€ 109,375.00	
Builder Profit 7.5%	€ 11,770.50	€ 13,238.25	€ 12,041.25	€ 14,415.00	€ 16,263.38	€ 18,939.38	€ 7,656.25	
	€ -	€ -	€ -	€ -	€ -	€ -	€ -	
Attributable develop Cost	€ 71,128.51	€ 79,998.05	€ 72,764.64	€ 74,896.00	€ 84,499.60	€ 84,499.60	€ 53,820.00	
	€ -	€ -	€ -	€ -	€ -	€ -	€ -	
Land Cost	€ 1,655.00	€ 1,655.00	€ 1,655.00	€ 1,655.00	€ 1,655.00	€ 1,655.00	€ 1,655.00	
Net total	€ 241,494.01	€ 271,401.30	€ 247,010.89	€ 283,166.00	€ 319,262.98	€ 357,618.98	€ 172,506.25	
13.5 VAT	€ 32,601.69	€ 36,639.18	€ 33,346.47	€ 38,227.41	€ 43,100.50	€ 48,278.56	€ 23,288.34	
	€ 274,095.70	€ 308,040.47	€ 280,357.36	€ 321,393.41	€ 362,363.48	€ 405,897.54	€ 195,794.59	
Total Cost 45 Units	€ 2,740,957.04	€ 3,080,404.73	€ 1,401,786.80	€ 964,180.23	€ 1,087,090.43	€ 1,623,590.15	€ 1,957,945.94	€ 12,855,955.31

Neighbourhood A & C Neighbourhood A & K Neighbourhood A & H Neighbourhood C, E & L Neighbourhood B,H, L Neighbourhood c, h, Neighbourhood , D ,G, L,

Net total € 11,326,832.88
VAT Total € 1,529,122.44

BEO Properties Part V Breakdown
Block of Apartments Floors (1-4)
5*2 bed apt per floor
Block of Apartments Floors (1-4)
5*2 bed apt per floor
5* 1 Bed Ground floor Massionettes
Total Units

SQM	82.6	92.9	84.5	124	139.9	144.3	62.5	
Total Number	10	10	5	3	3	4	10	45
	826	929	422.5	372	419.7	577.2	625	4171.4 Total SQM
	2 bed	2 bed	2 bed	3 bed	3 bed	3 Bed	1 bed	

25*2 Bed
6 * 3 Bed House
4 * 3 Bed Massionette
10*1 Bed Massionette
45 total

All dimensions to be checked on site. Fig and dimensions take preference over word dimensions. Any discrepancy to be reported to the Architects. This drawing may not be relied upon without the approval of the relevant authority.

PART V LEGEND

[Light Green Box]	3x HOUSE A2 - 3BED
[Light Blue Box]	REFER TO ASSOCIATE FOR UNIT LAYOUT
[Light Orange Box]	3x HOUSE B1 - 3BED
[Light Yellow Box]	REFER TO ASSOCIATE FOR UNIT LAYOUT
[Light Purple Box]	14x MAISONETTE M5/M6 - 1BED/2BED
[Light Green Box]	REFER TO ASSOCIATE FOR UNIT LAYOUTS
[Light Blue Box]	10x APARTMENT D1 - 2BED
[Light Orange Box]	REFER TO ASSOCIATE FOR UNIT LAYOUT
[Light Yellow Box]	10x APARTMENT D2 - 2BED
[Light Purple Box]	REFER TO ASSOCIATE FOR UNIT LAYOUT
[Light Green Box]	15x APARTMENT D3 - 2BED
[Light Blue Box]	REFER TO ASSOCIATE FOR UNIT LAYOUT
TOTAL: 45 UNITS (10%)	

BOUNDARY LEGEND
REFER TO ASSOCIATE LOCATION MAP FOR DETAILS

[Red Line]	SITE BOUNDARY
[Blue Line]	LAND UNDER OWNERSHIP OF THE APPLICANT
[Green Line]	LOBBOLLY LAND
[Yellow Line]	MARKER/PURPOSE THROUGH KNIGHTSPOST LAND
[Pink Line]	PROPOSED PEDESTRIAN LINK RIGHT OF WAY
[Dotted Line]	LETTER OF CONSENT TO BE PROVIDED FROM MEATH COUNTY COUNCIL
[Hatched Area]	ADJACENT RELEVANT PLANNING SUBMISSIONS

PROPOSED HOUSING SCHEME FOR 228 UNITS
PLANNING APPLICATION REFERENCE: SH2018/06

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

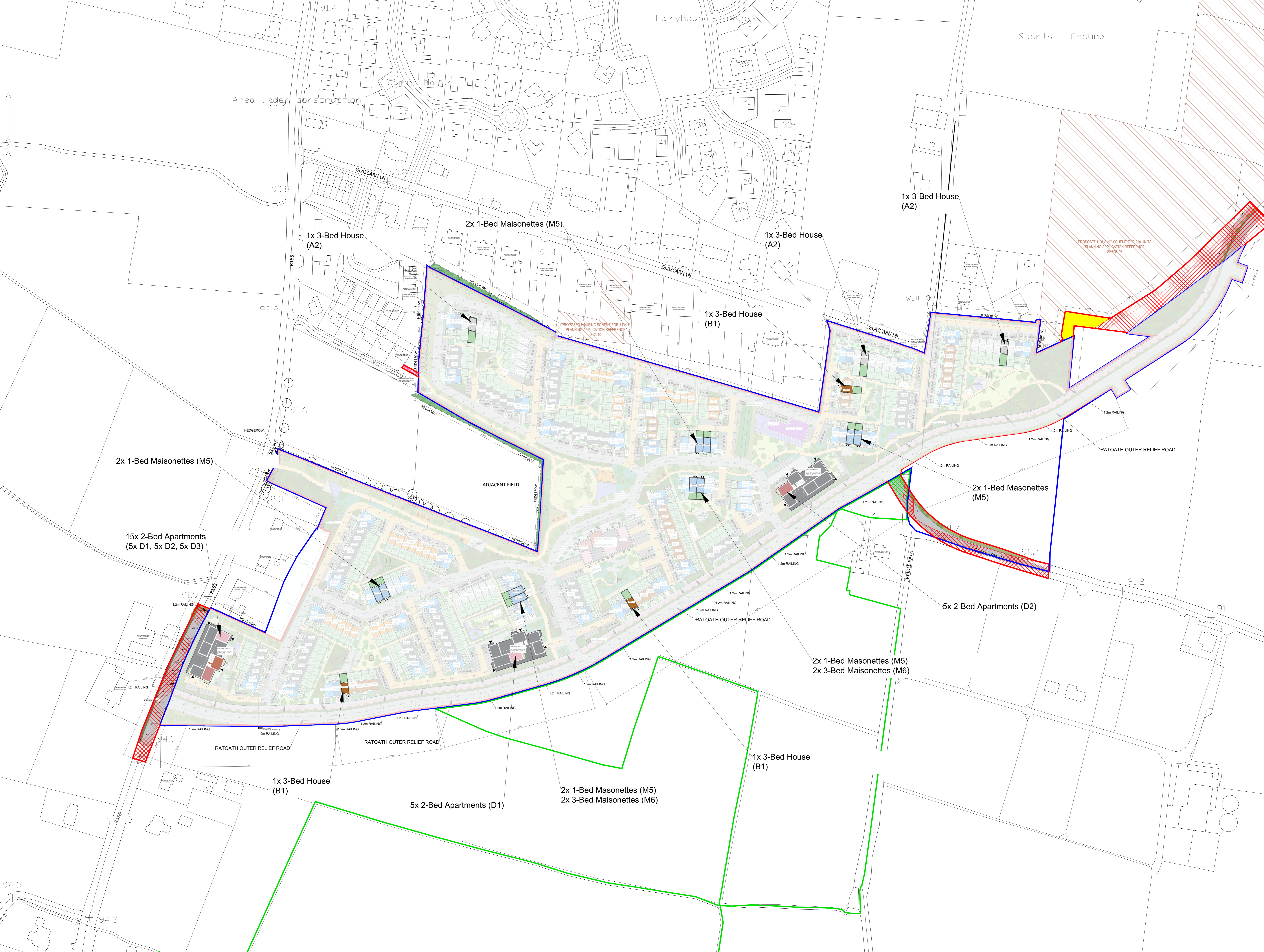
PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217

PROPOSED HOUSING SCHEME FOR 1 UNIT
PLANNING APPLICATION REFERENCE: 212217



PLANNING	DC	PLANNING SUBMISSION	
REV	DATE	CHK BY	DESCRIPTION
P1	MAY 2022	DC	PLANNING SUBMISSION

BEO PROPERTIES LTD.

STATUS: PLANNING
PROJECT: RATOATH SOUTH SHD
PROJECT ADDRESS: RATOATH SOUTH, CO. MEATH
DRAWING TITLE: SITE LAYOUT PLAN PART V UNIT ALLOCATION
DRAWING NO: 21088-RKD-ZZ-ZZ-DR-A-1030
REV: P1 PROJECT NO: 21088 SCALE: 1:1000 @A0
DATE: MAY 2022 DRN: DC CHK: DC

All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by court proceedings for damages and/or injunctions and costs. RKD Architects' Quality Management Systems are certified to ISO 9001:2015.

Notes:

UNIT TYPE A2

- Plot Curtilage
- 3 Bed 2 Storey Terrace House
- Attic Conversion Option

NOTE: UNIT TYPE INCLUDES OPTIONAL ATTIC CONVERSION LAYOUT, STAIRS & ELEVATION VARIATIONS INDICATED BY DASHED GREEN LINES

MATERIALITY KEY

- A Selected Brick Finish
- B Selected Render Finish
- C Roofing Tile
- D Coloured Brick Detail
- E Selected Brick Solder Course
- F Opaque Glass
- G Solar Panel
- H Aluminium Finished Double Glazed Windows
- I External Bin Store
- J Selected Brick Pattern Detail
- K Roof Window (Attic Conversion Option)
- L Timber Garden Fence

NOTE: See Architectural Design Statement for selected colours and materials

NOTE: Side elevations and gable ends may vary. See site plan and architectural design statement.

A2 - 3 Bed, 6 Person (2 storey)

Name	Target Area (m ²)	Proposed Areas (m ²)
Living Room	15.0 m ²	15.0 m ²
Kitchen/Dining	21.9 m ²	21.9 m ²
Bedroom 1	11.4 m ²	11.4 m ²
Bedroom 2	11.4 m ²	11.8 m ²
Master Bedroom	13.0 m ²	13.8 m ²
Gross Floor Area	100.0 m ²	124.0 m ²
Internal Area Excluding Stair Void	100.0 m ²	119.3 m ²
Aggregate Bedroom	36.0 m ²	37.1 m ²
Aggregate Living	37.0 m ²	37.0 m ²
Aggregate Storage	6.0 m ²	7.0 m ²
Private Open Space	60.0 m ²	60.0 m ²

Based on the 'Quality Housing for Sustainable Communities' Guidelines (2007)

P1 MAY 2022 Planning Submission

CLIENT: Beo Residential Ltd

STATUS: PLANNING

PROJECT: Ratoath South SHD

PROJECT ADDRESS: Ratoath, Co. Meath

DWG TITLE: TERRACED HOUSE A2

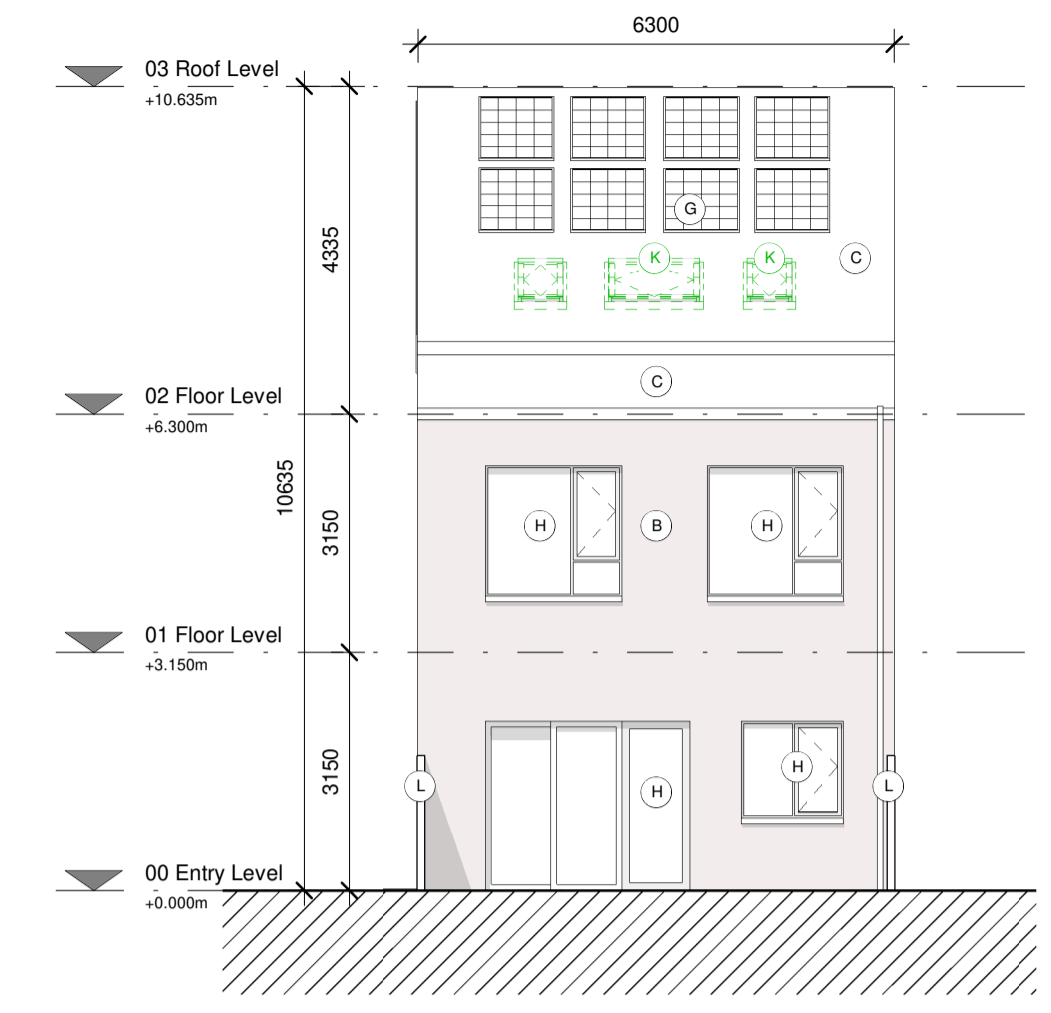
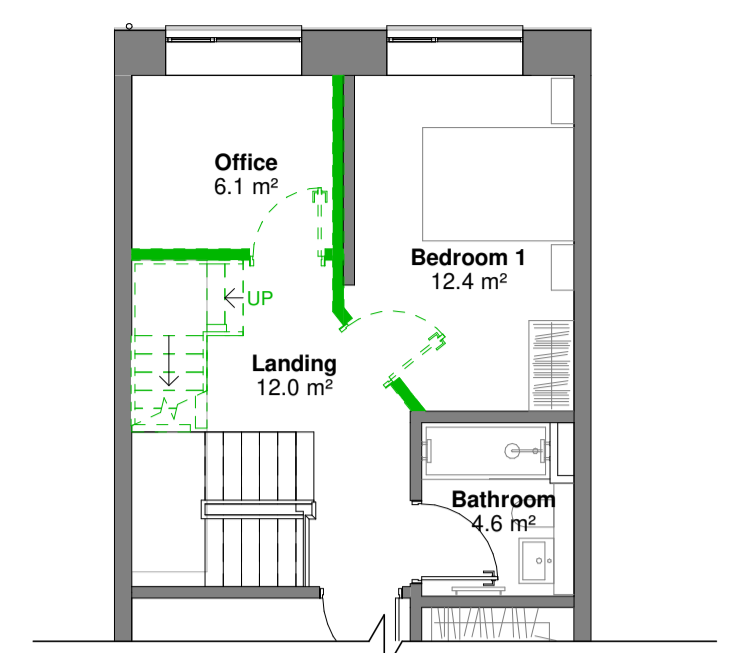
DWG NO: 21088-RKD-ZZ-ZZ-DR-A-1501

REV. STATUS PROJECT NO. 21088
 P1 A3 SCALE 1 : 100
 DATE MAY 2022 DRN JB CHK DC

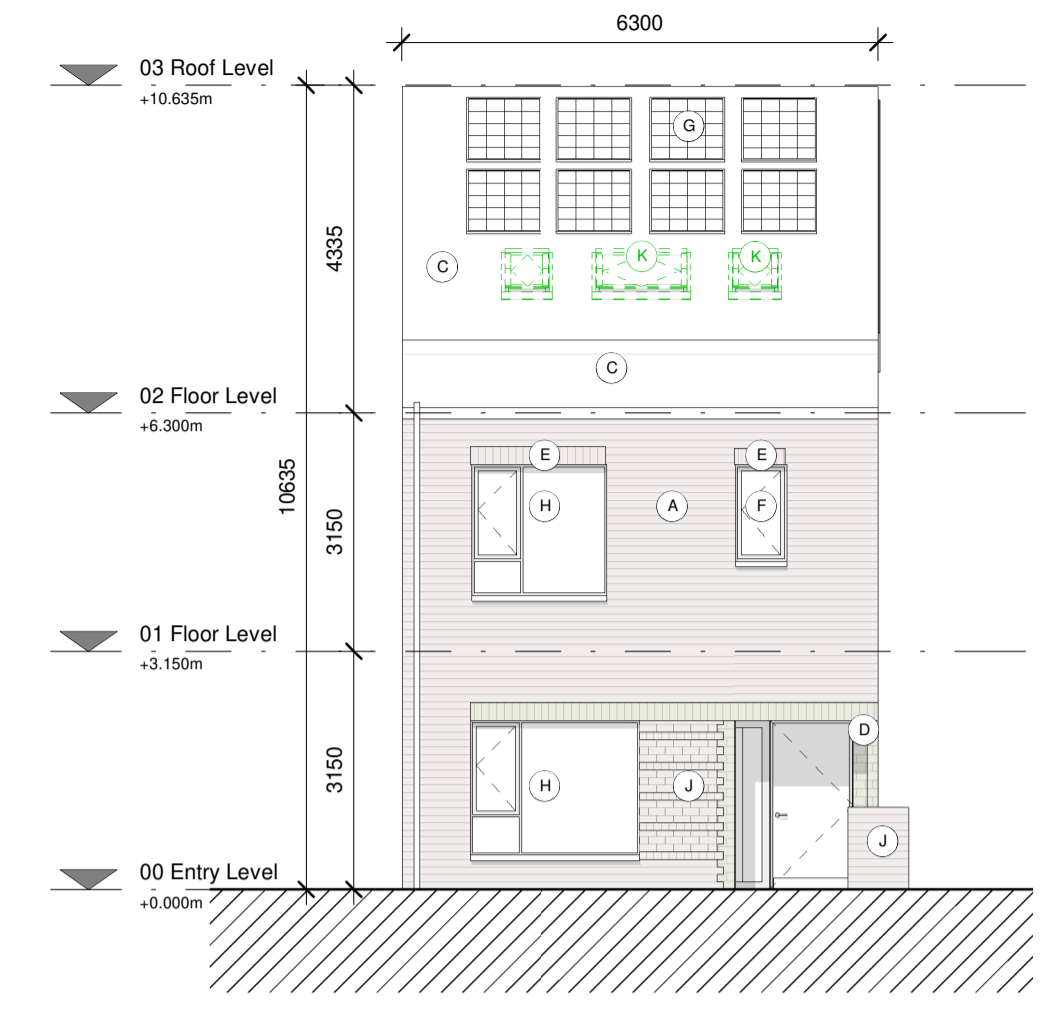


First Floor Plan: Attic Conversion Option
1 : 100

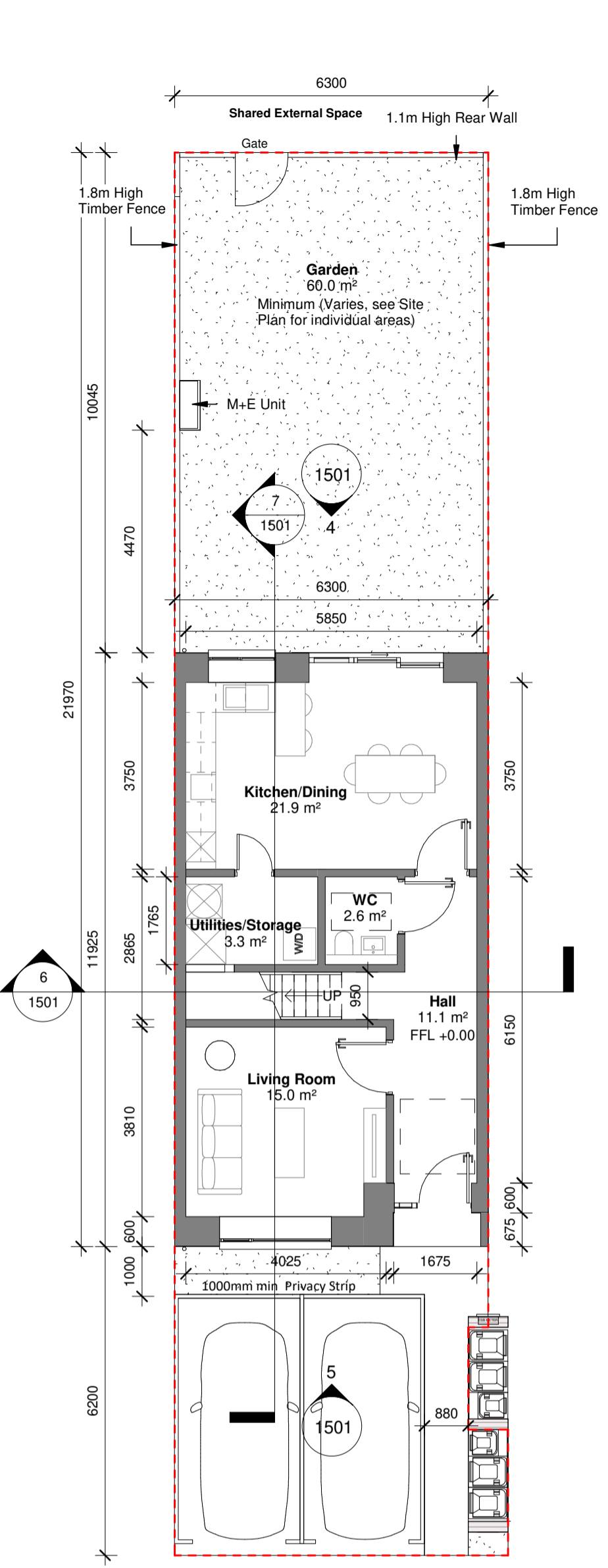
2a



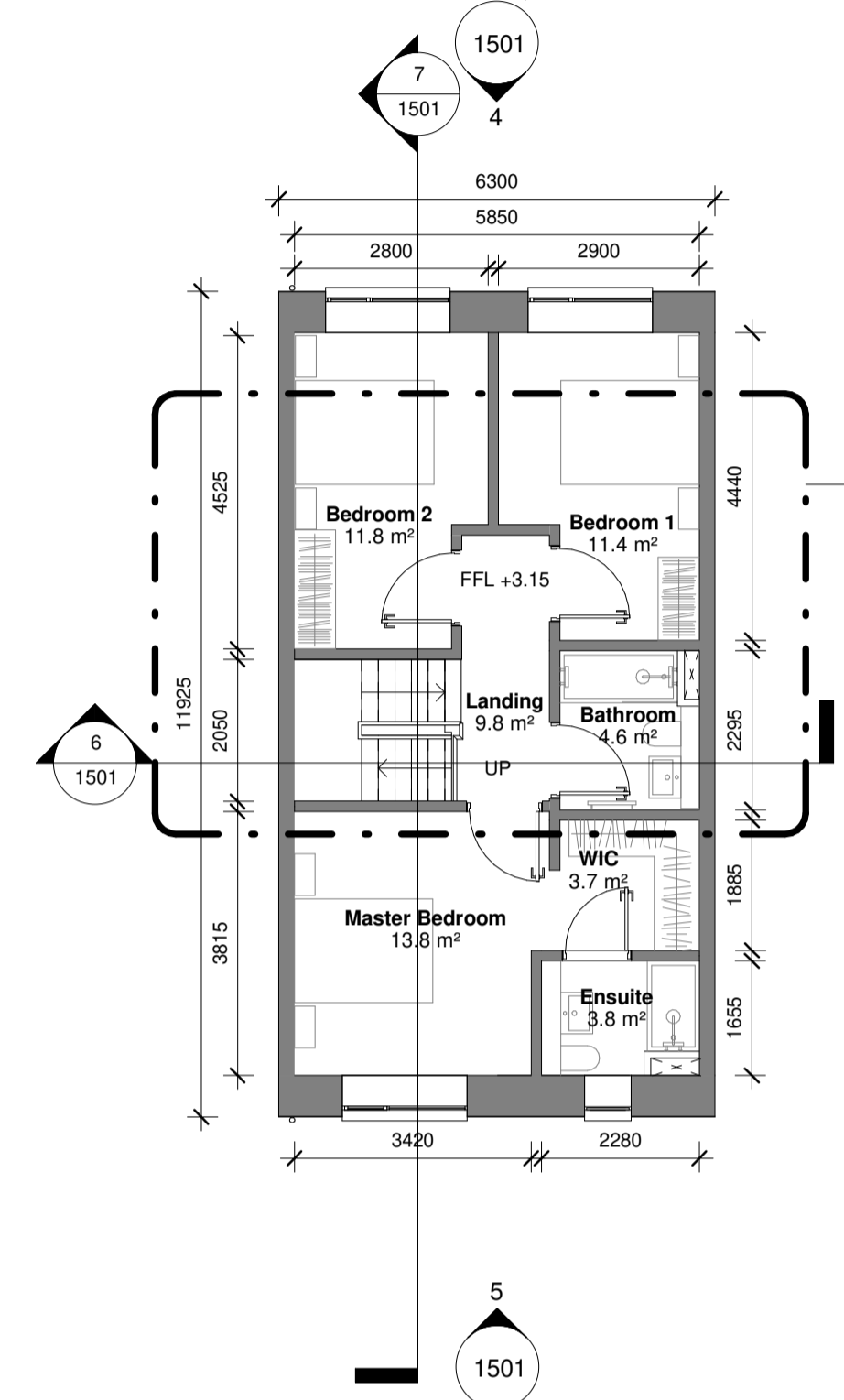
4 Rear Elevation
1 : 100



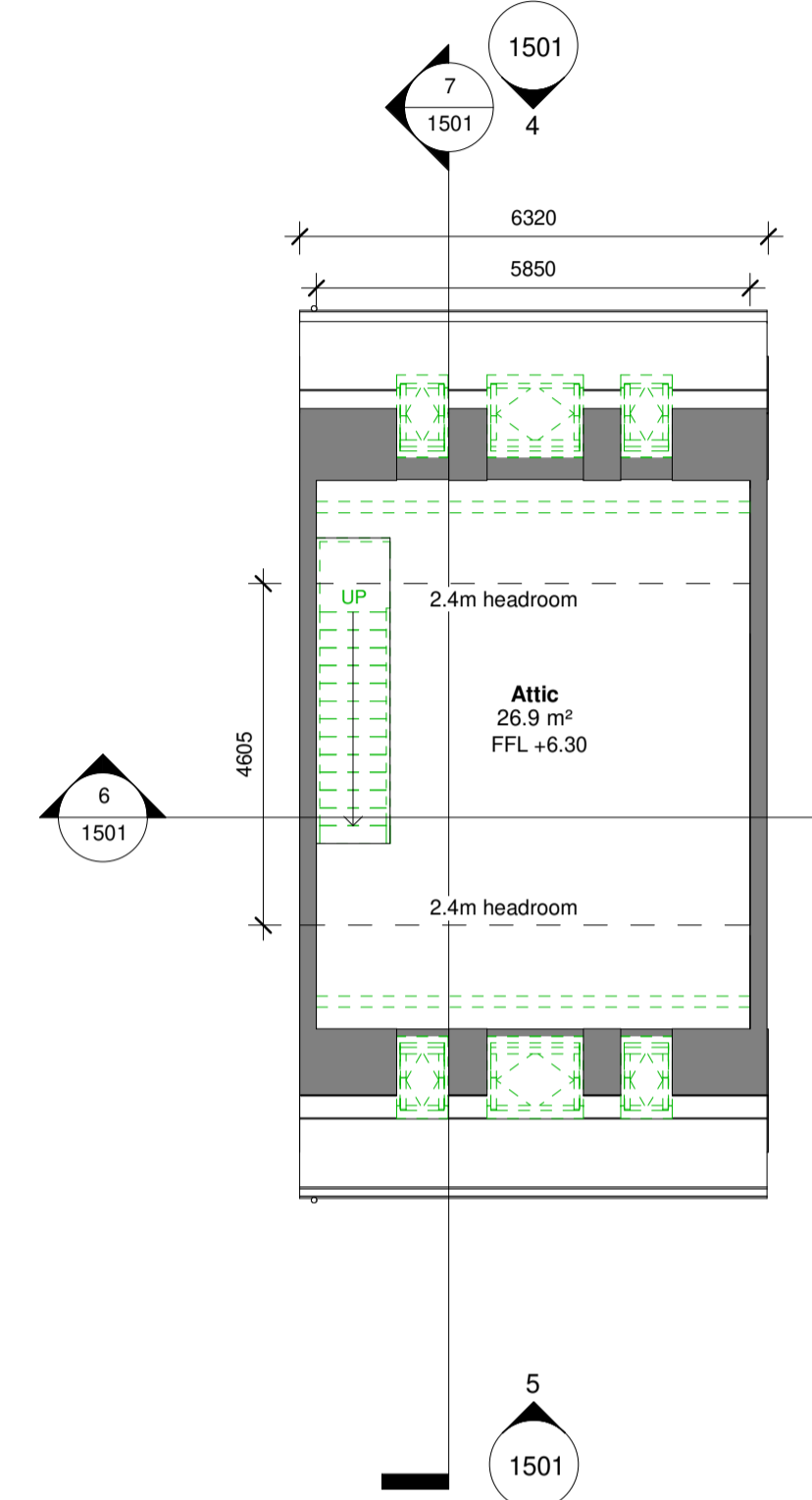
5 Front Elevation
1 : 100



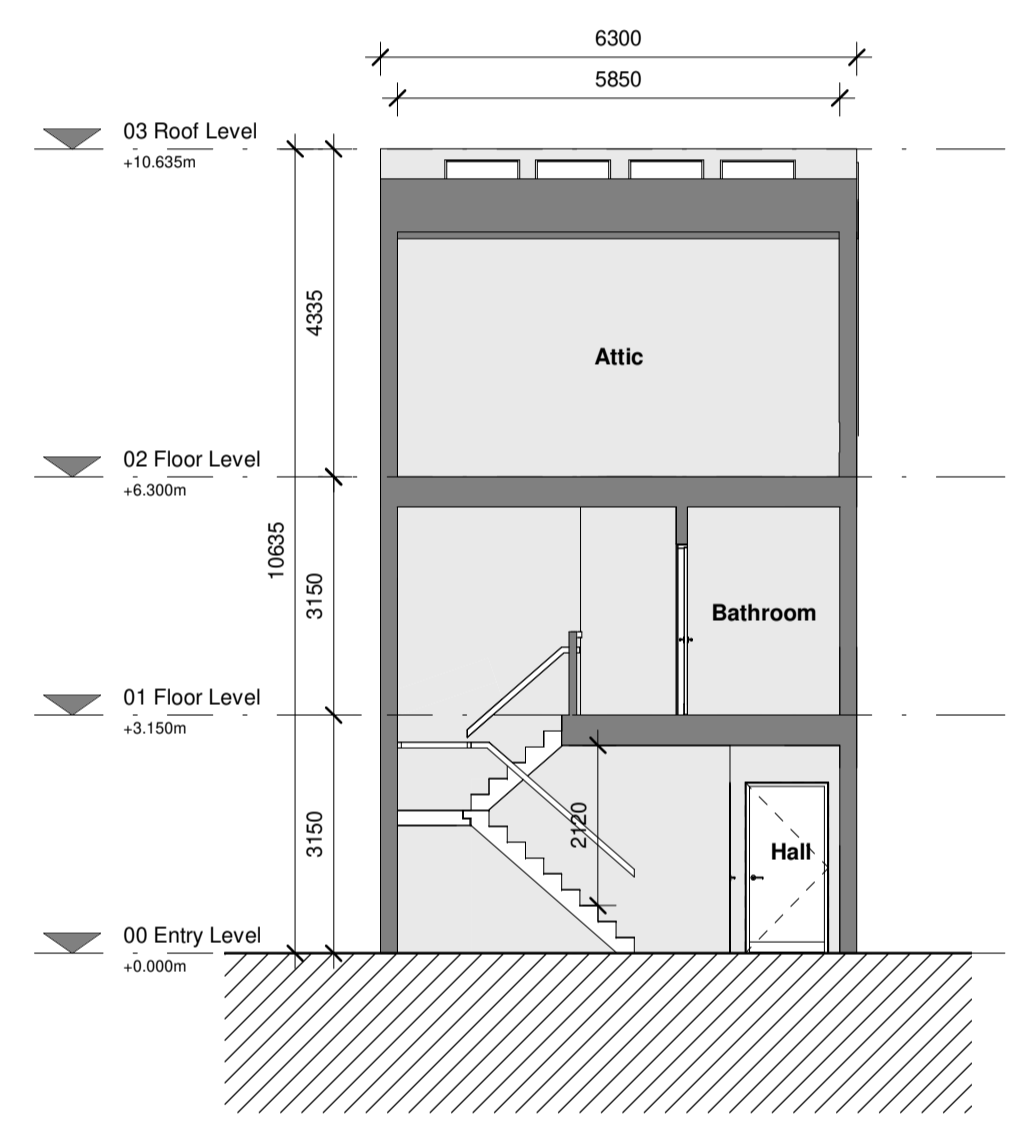
1 Ground Floor Plan
1 : 100



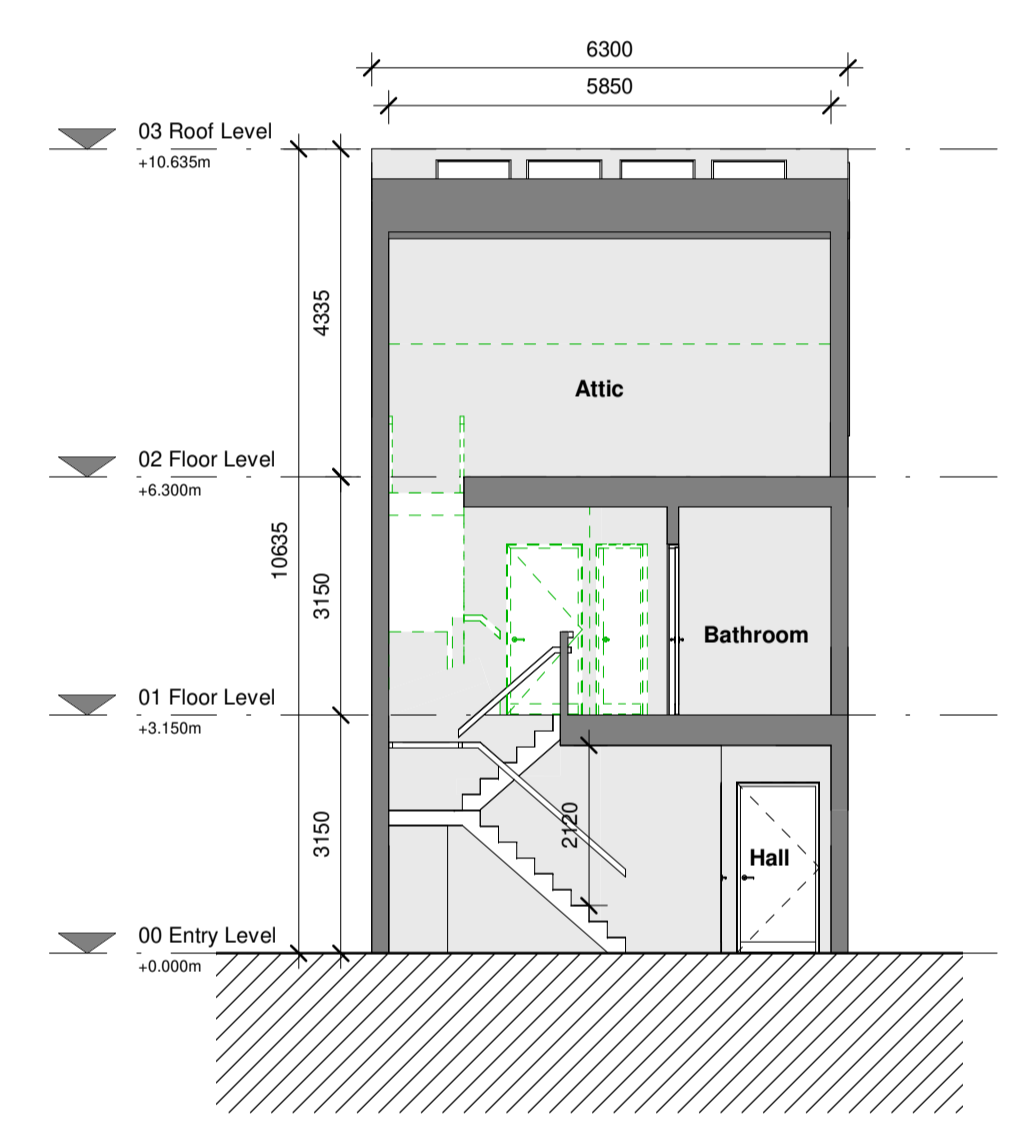
2 First Floor Plan
1 : 100



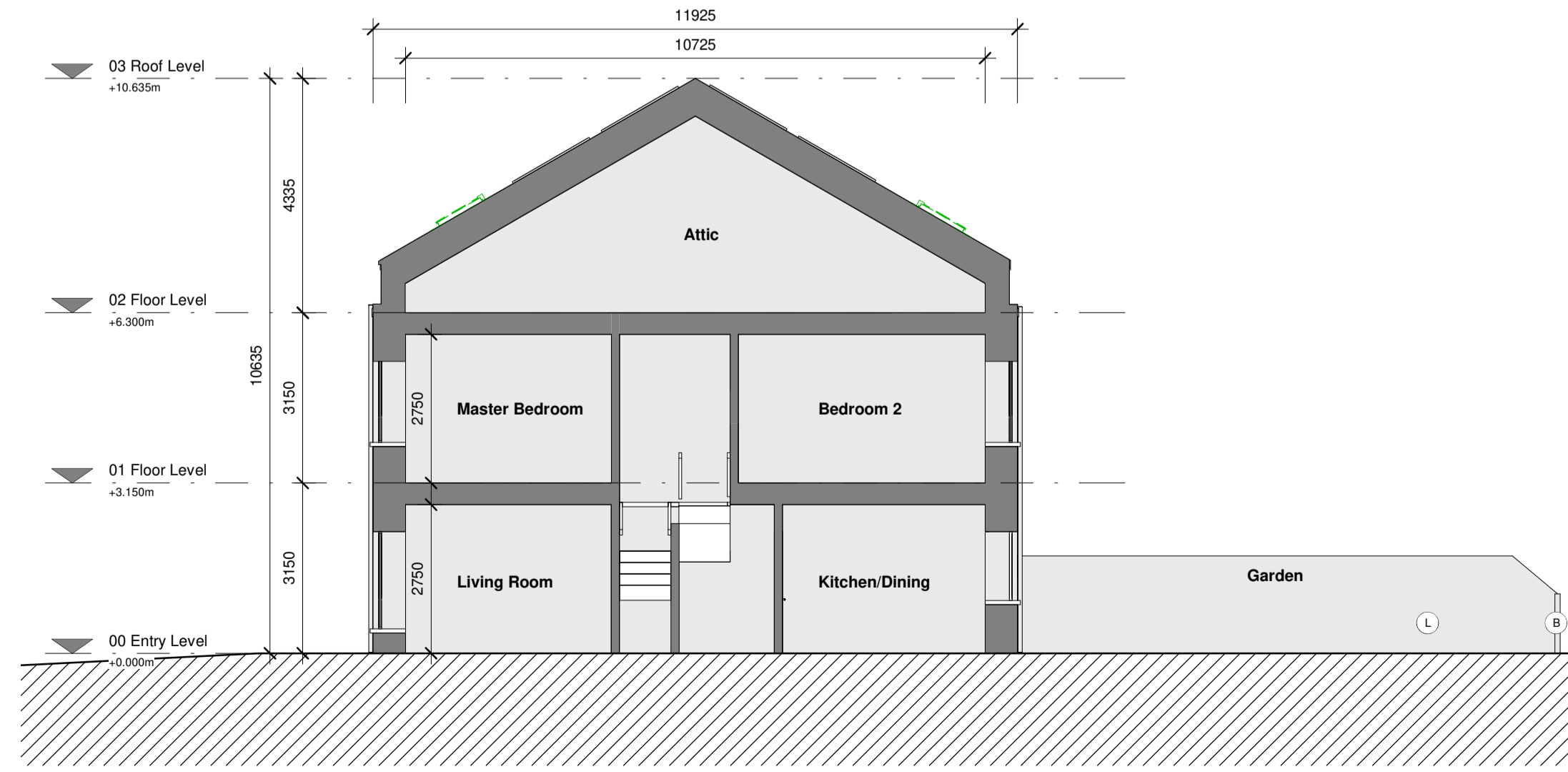
3 Attic Floor Plan
1 : 100



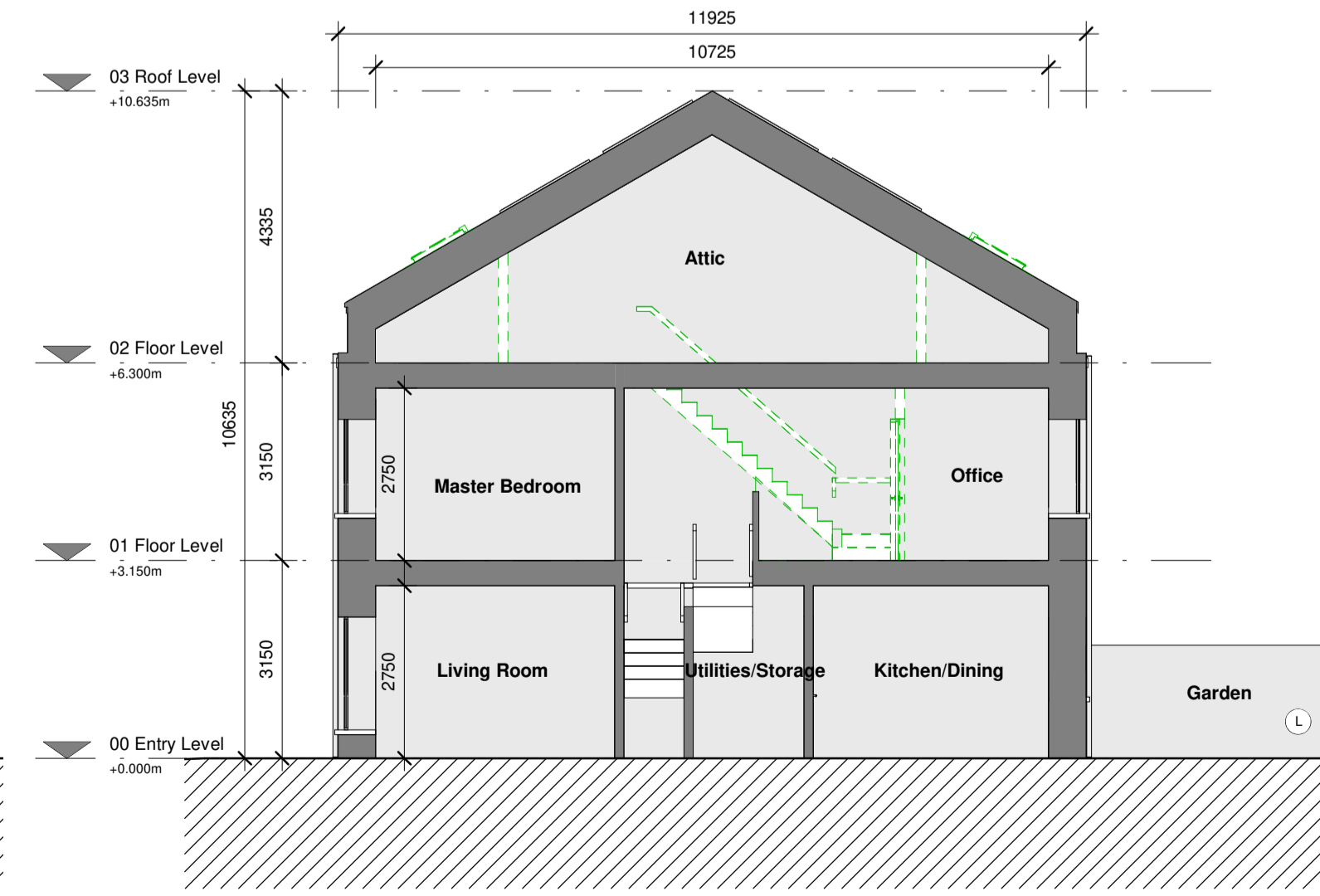
6 Section A: Standard Option
1 : 100



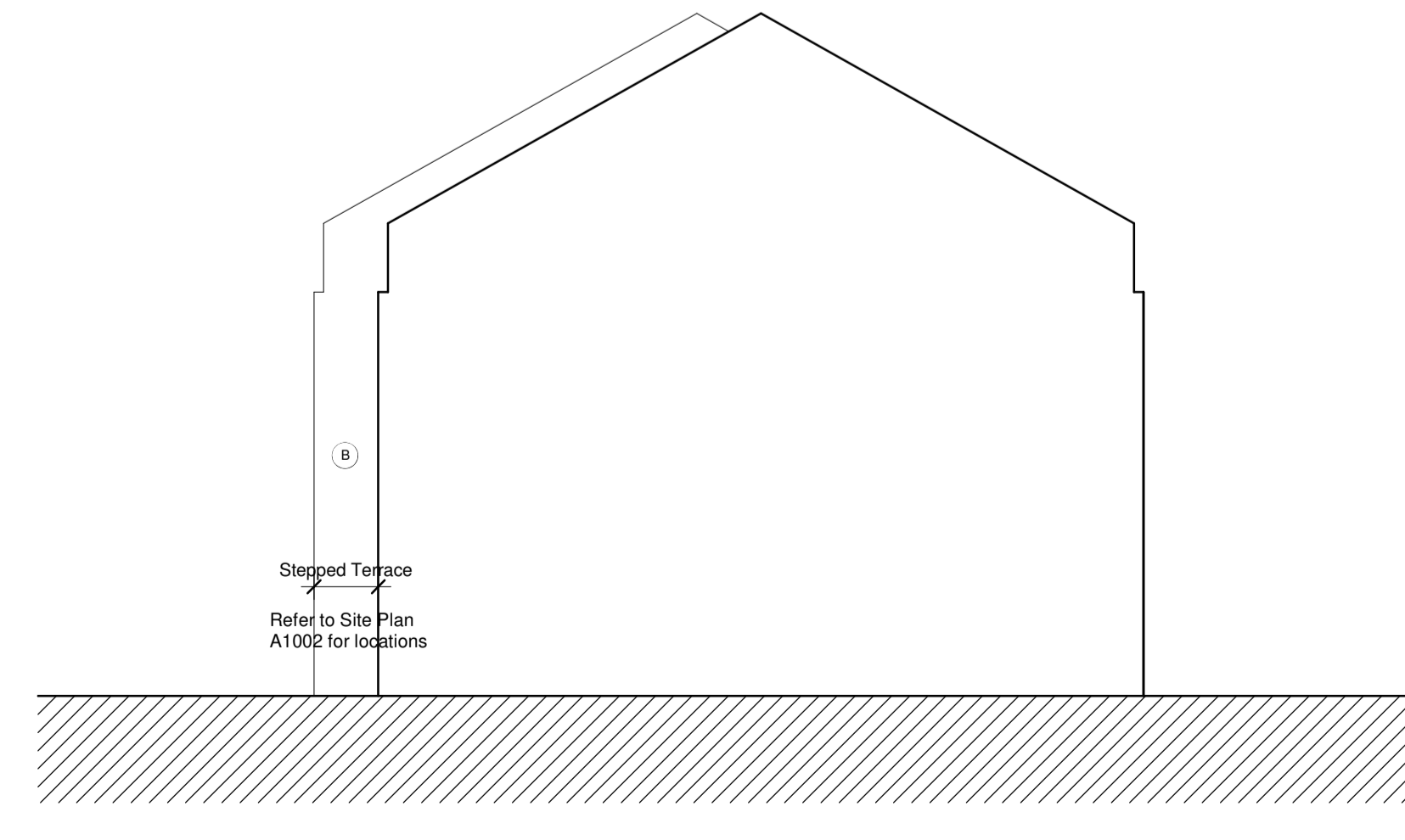
6a Section A: Attic Conversion Option
1 : 100



7 Section B: Standard Option
1 : 100



7a Section B: Attic Conversion Option
1 : 100



8 Stepped Terrace Condition
1 : 100

All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by court proceedings for damages and/or injunctions and costs.

RKD Architects' Quality Management Systems are certified to ISO 9001:2015.

Notes:

UNIT TYPE B1

- Plot Curtilage
- 3 Bed
- 3 Storey
- Terrace House

MATERIALITY KEY

- A Selected Brick Finish
- B Selected Render Finish
- C Roofing Tile
- D Stone Capping
- E Coloured Brick Detail
- F Selected Brick Solder Course
- G Opaque Glass
- H Solar Panel
- I Aluminium Finished Double Glazed Windows
- J Metal Railing
- K External Bin Store
- L Timber Garden Fence
- M Rooflight

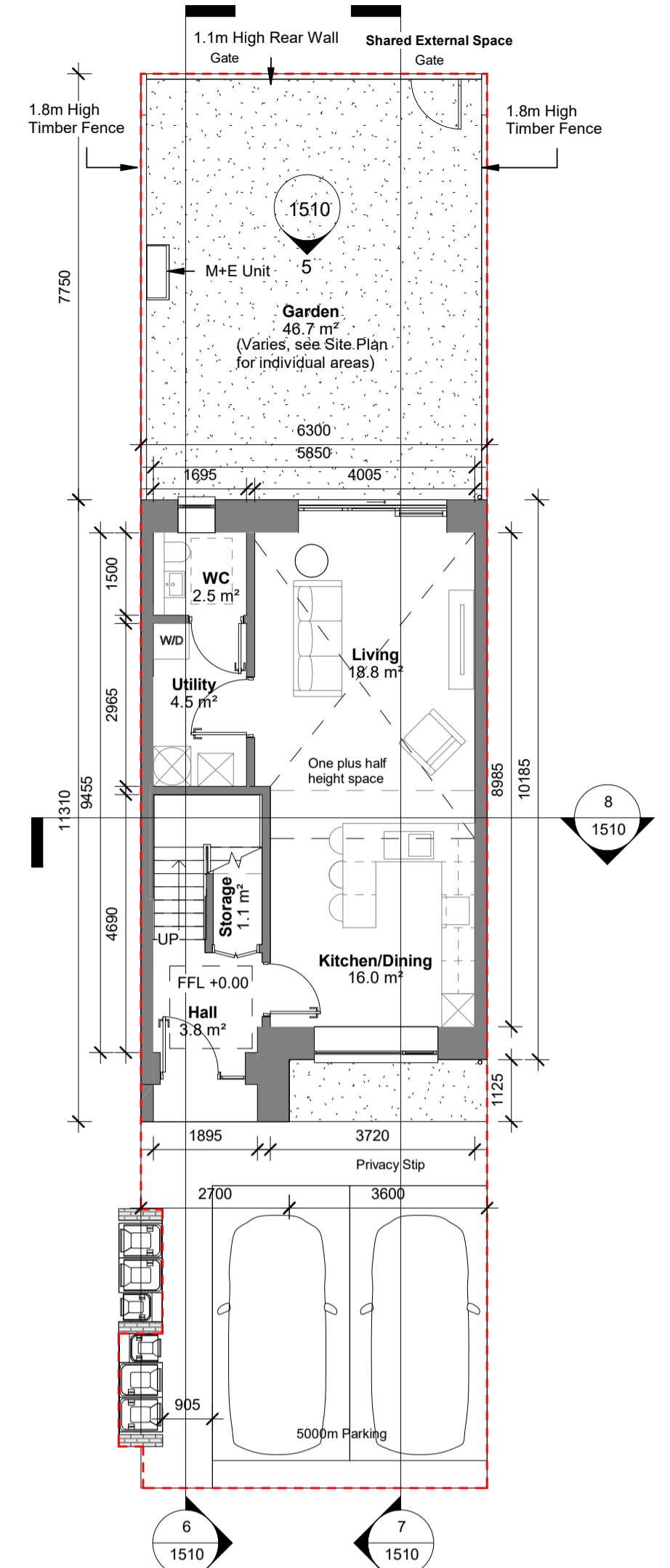
NOTE: See Architectural Design Statement for selected colours and materials

B1 - 3 Bed, 6 Person (3 Storey)

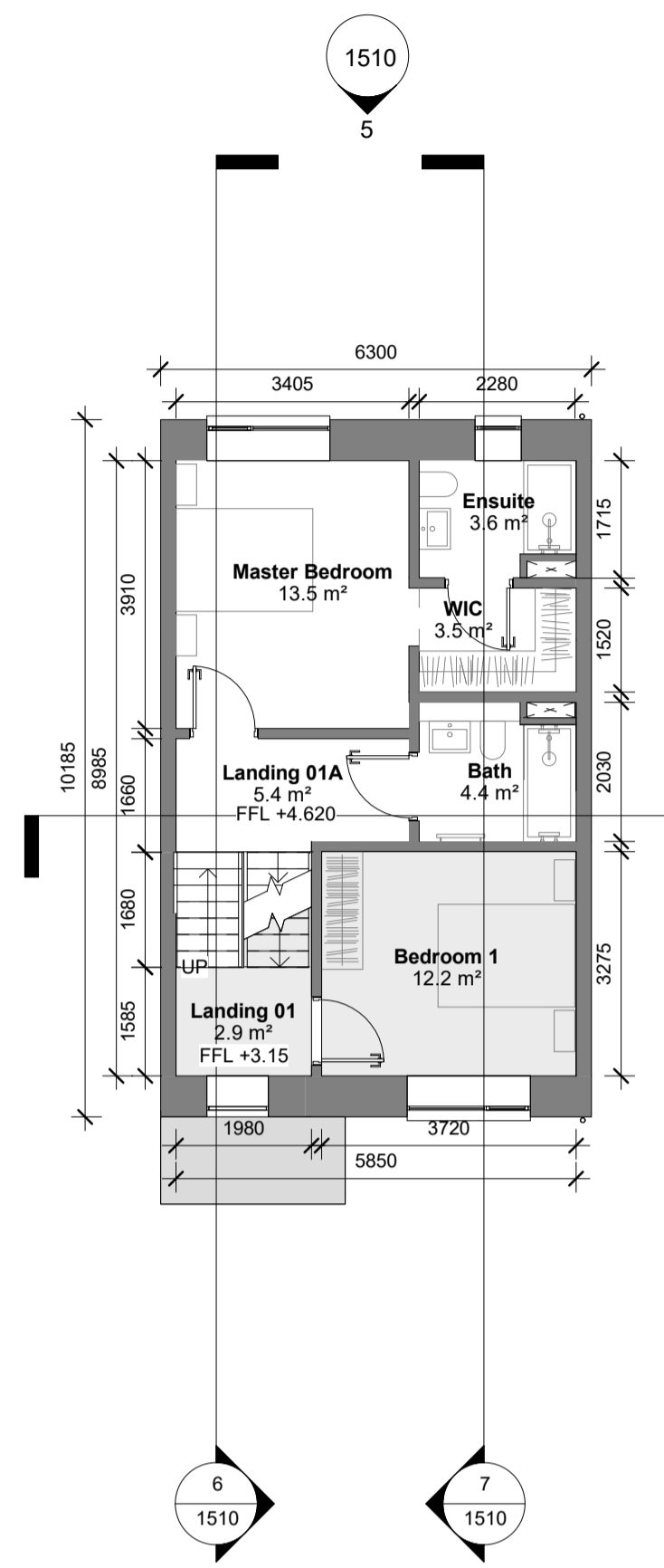
Name	Target Area (m2)	Proposed Area (m2)
Living	15.0 m ²	18.8 m ²
Kitchen/Dining	0.0 m ²	16.0 m ²
Office	0.0 m ²	13.6 m ²
Master Bedroom	13.0 m ²	13.5 m ²
Bedroom 1	11.4 m ²	12.2 m ²
Bedroom 2	11.4 m ²	12.2 m ²
Gross Floor Area	110.0 m ²	139.9 m ²
Internal Area Excluding Stair Void	110.0 m ²	129.2 m ²
Aggregate Bedroom	36.0 m ²	37.8 m ²
Aggregate Living	37.0 m ²	48.3 m ²
Aggregate Storage	6.0 m ²	19.2 m ²
Private Open Space	60.0 m ²	84.4 m ²

Based on 'Quality Housing for Sustainable Communities' Guidelines (2007)

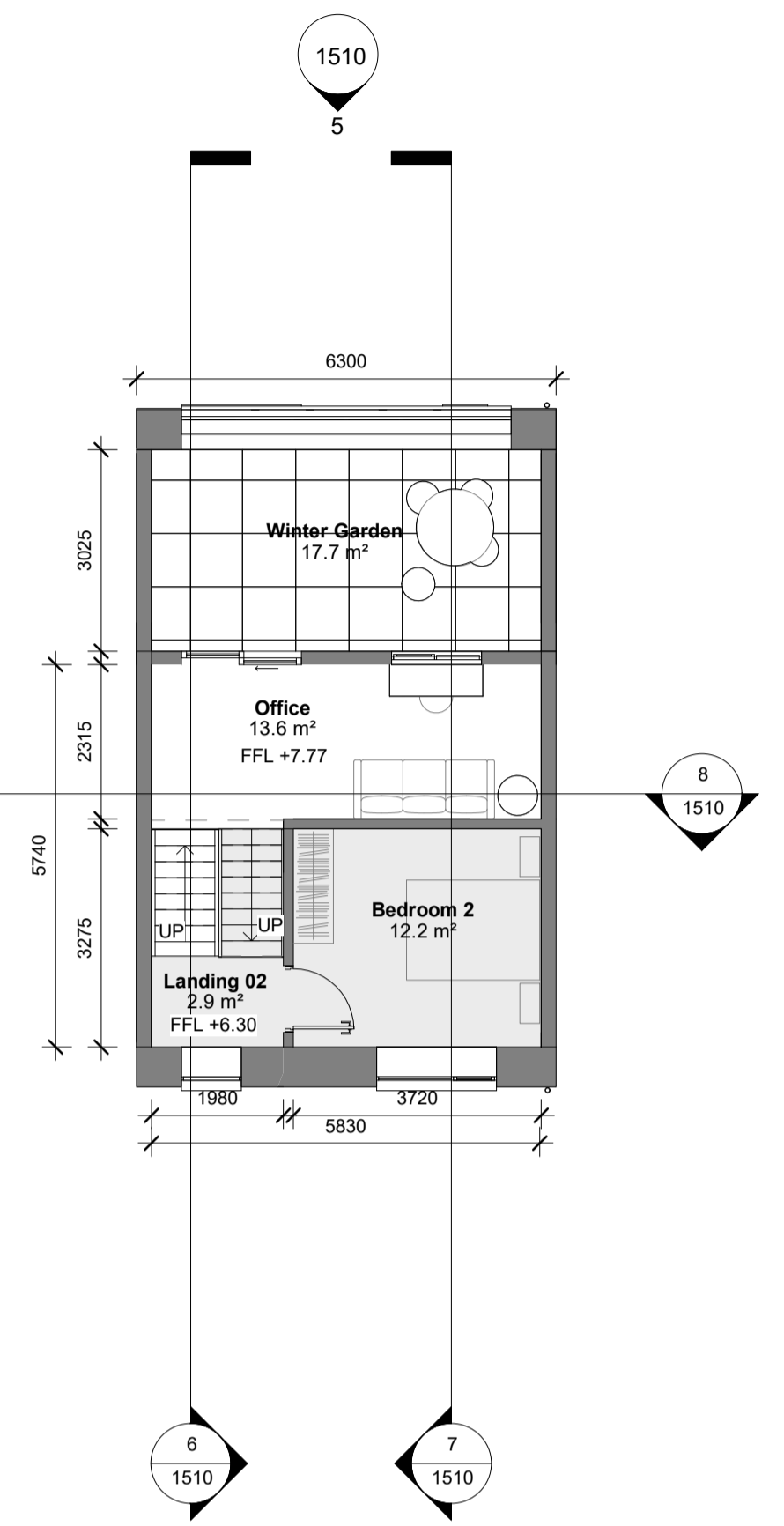
NOTE: Private Open Space Includes Wintergarden at Level 2A



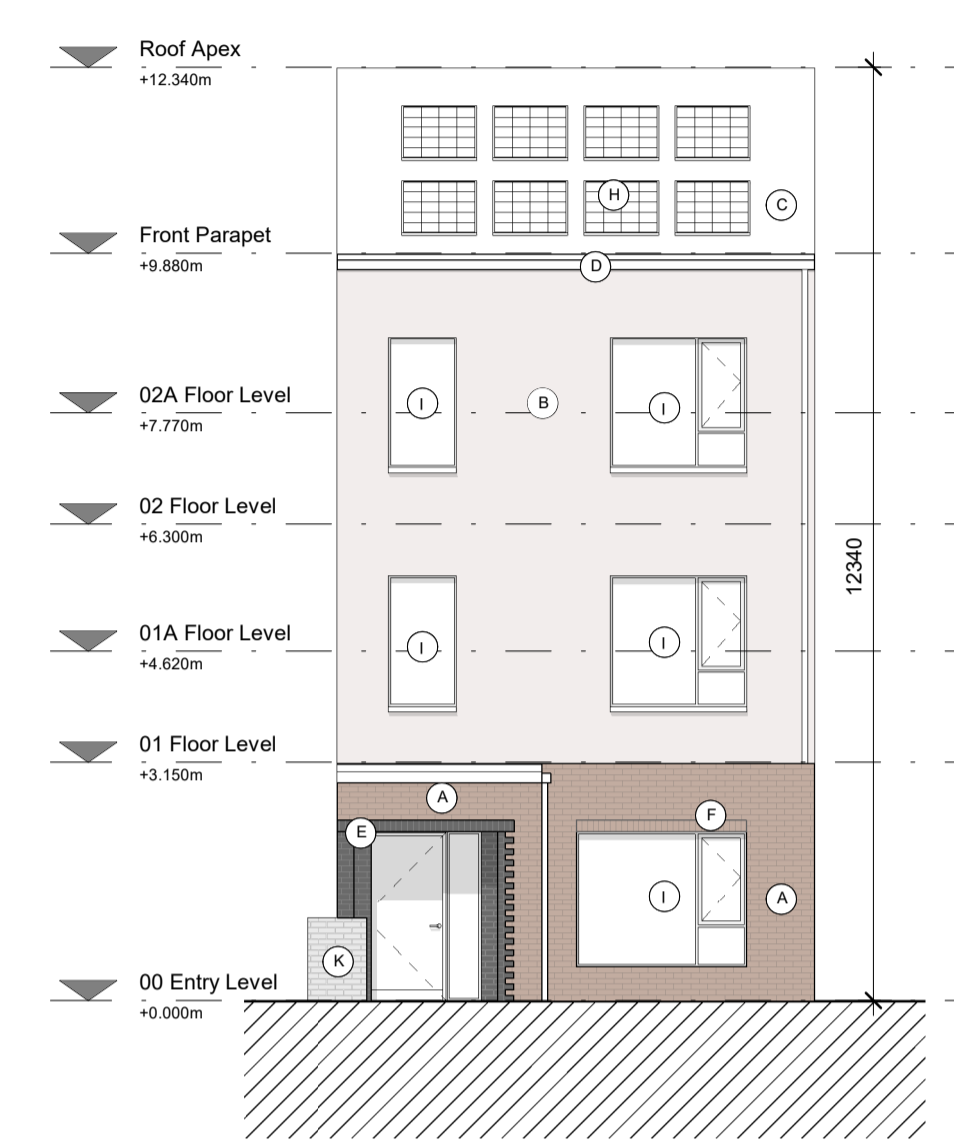
1 Ground Floor Plan
1 : 100



2 First Floor Plan
1 : 100



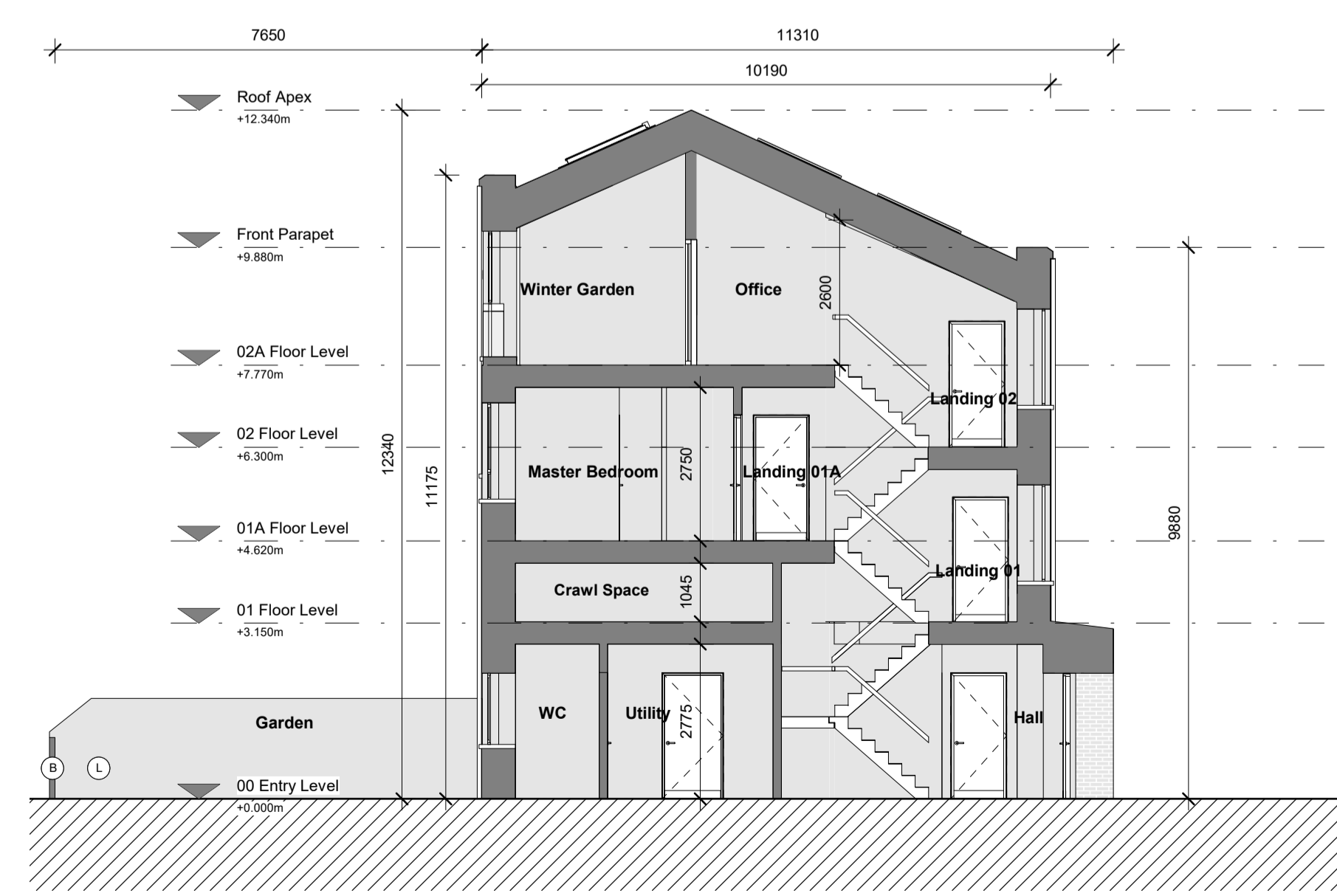
3 Second Floor Plan
1 : 100



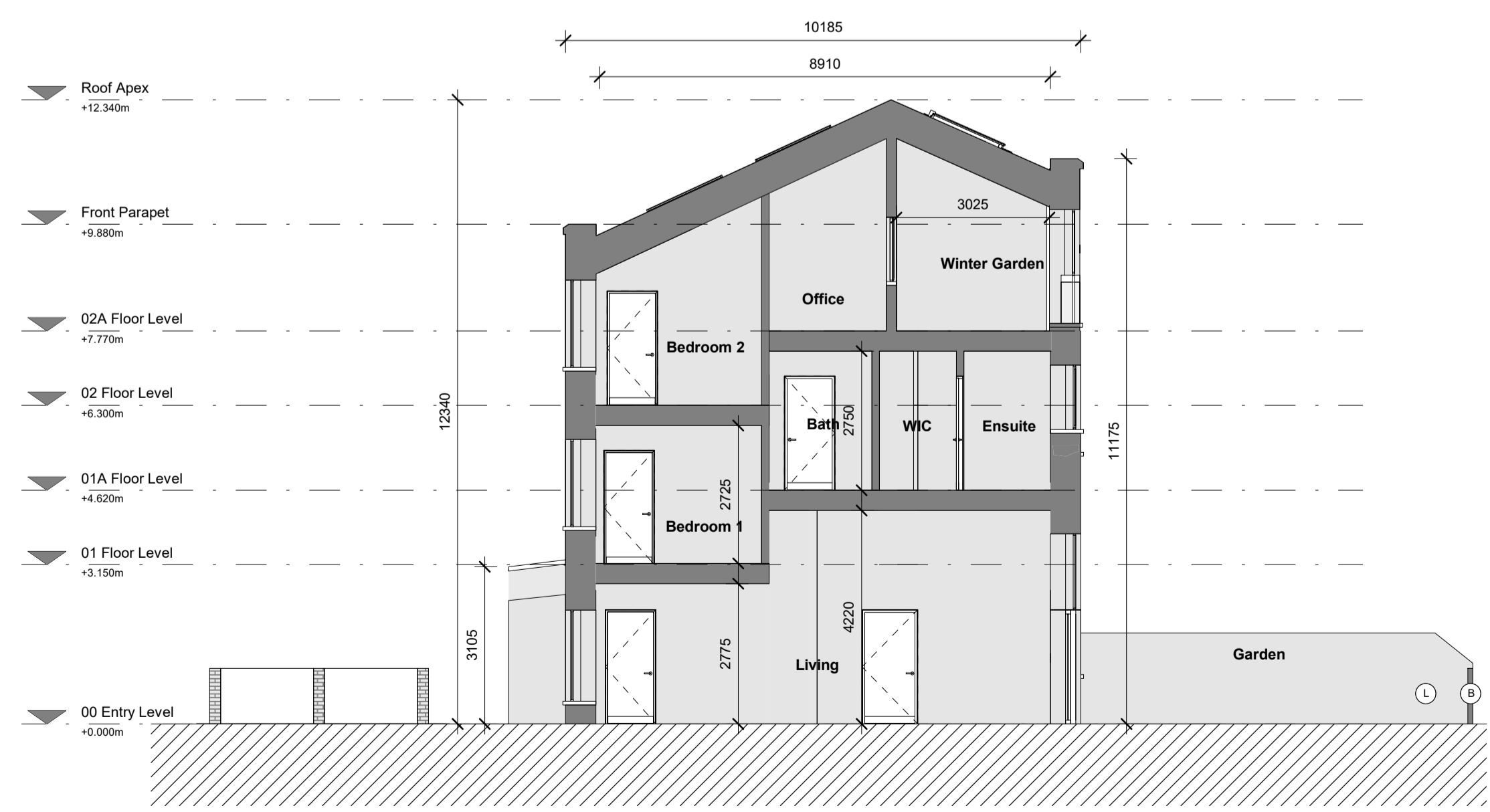
4 Front Elevation
1 : 100



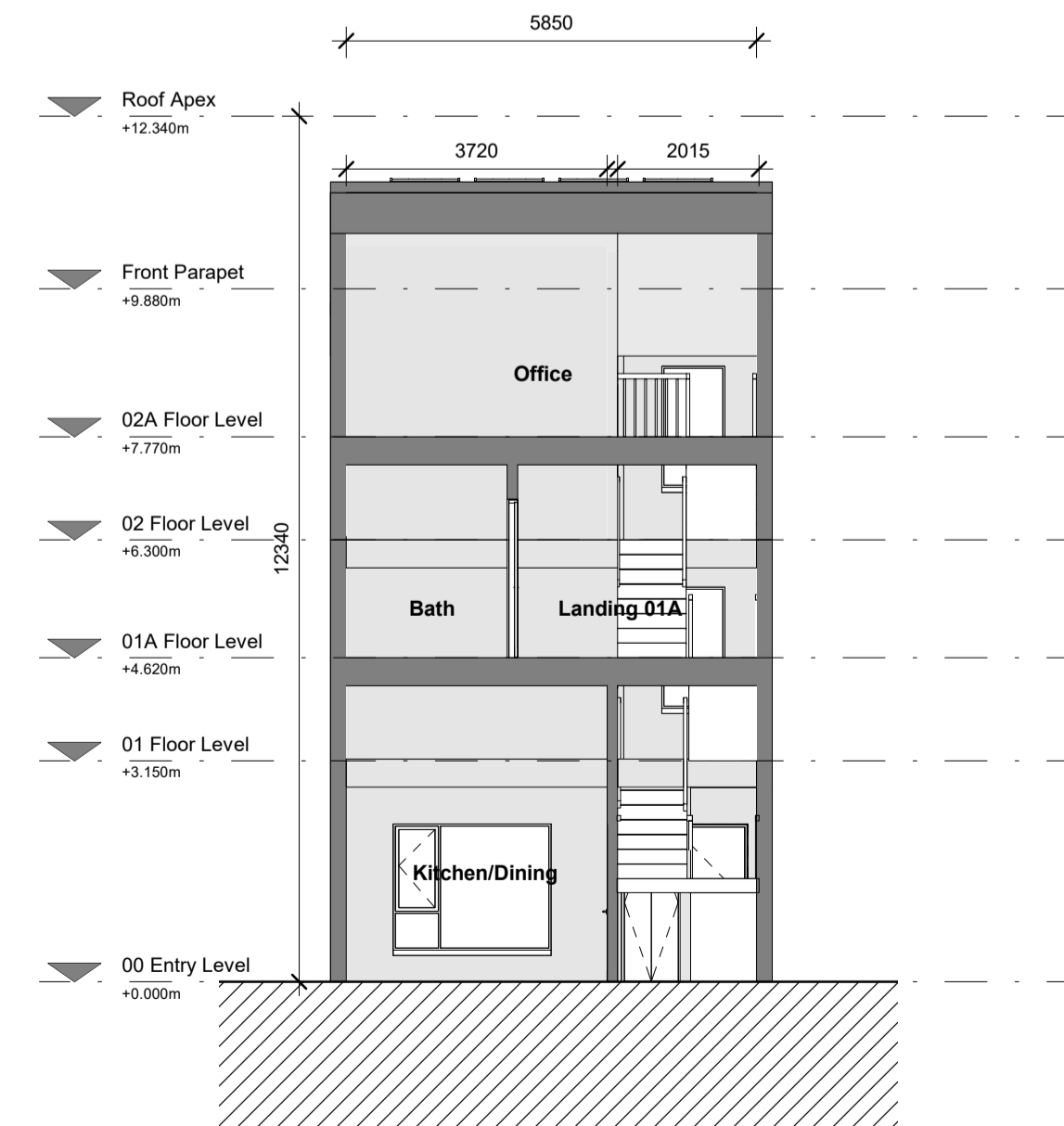
5 Rear Elevation
1 : 100



6 Section AA
1 : 100



7 Section BB
1 : 100



8 Section CC
1 : 100

Rev.	Date	Description
P1	MAY 2022	Planning Submission

Beo Properties Ltd

STATUS: **PLANNING**

PROJECT: **Ratoath South SHD**

PROJECT ADDRESS: **Ratoath, Co. Meath**

DWG TITLE: **TERRACED HOUSE B1**

DWG NO: **21088-RKD-ZZ-ZZ-DR-A-1510**

REV.	STATUS	PROJECT NO.	SCALE
P1	A3	21088	1 : 100

DATE: **May 2022** DRN: **JB** CHK: **DC**

All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by court proceedings for damages and/or injunctions and costs.

RKD Architects' Quality Management Systems are certified to ISO 9001:2015.

UNIT TYPE M5 (UNIVERSAL DESIGN UNIT)

- Plot Curtilage
- 3 Bed 2 Storey Maisonette
- 3 Bed Upper Unit Unit See Drawing A1525

MATERIALITY KEY

- (A) Selected Brick Finish
- (B) Selected Render Finish
- (C) Roofing Tile
- (D) Stone Capping
- (E) Coloured Brick Detail
- (F) Selected Brick Soldier Course
- (G) Opaque Glass
- (H) Solar Panel
- (I) Aluminium Finished Double Glazed Windows
- (J) External Bin Store
- (K) Selected Brick Pattern Detail
- (L) Roof Window
- (M) Selected Finish Cladding Board
- (N) Timber Garden Fence

NOTE: See Architectural Design Statement for selected colours and materials

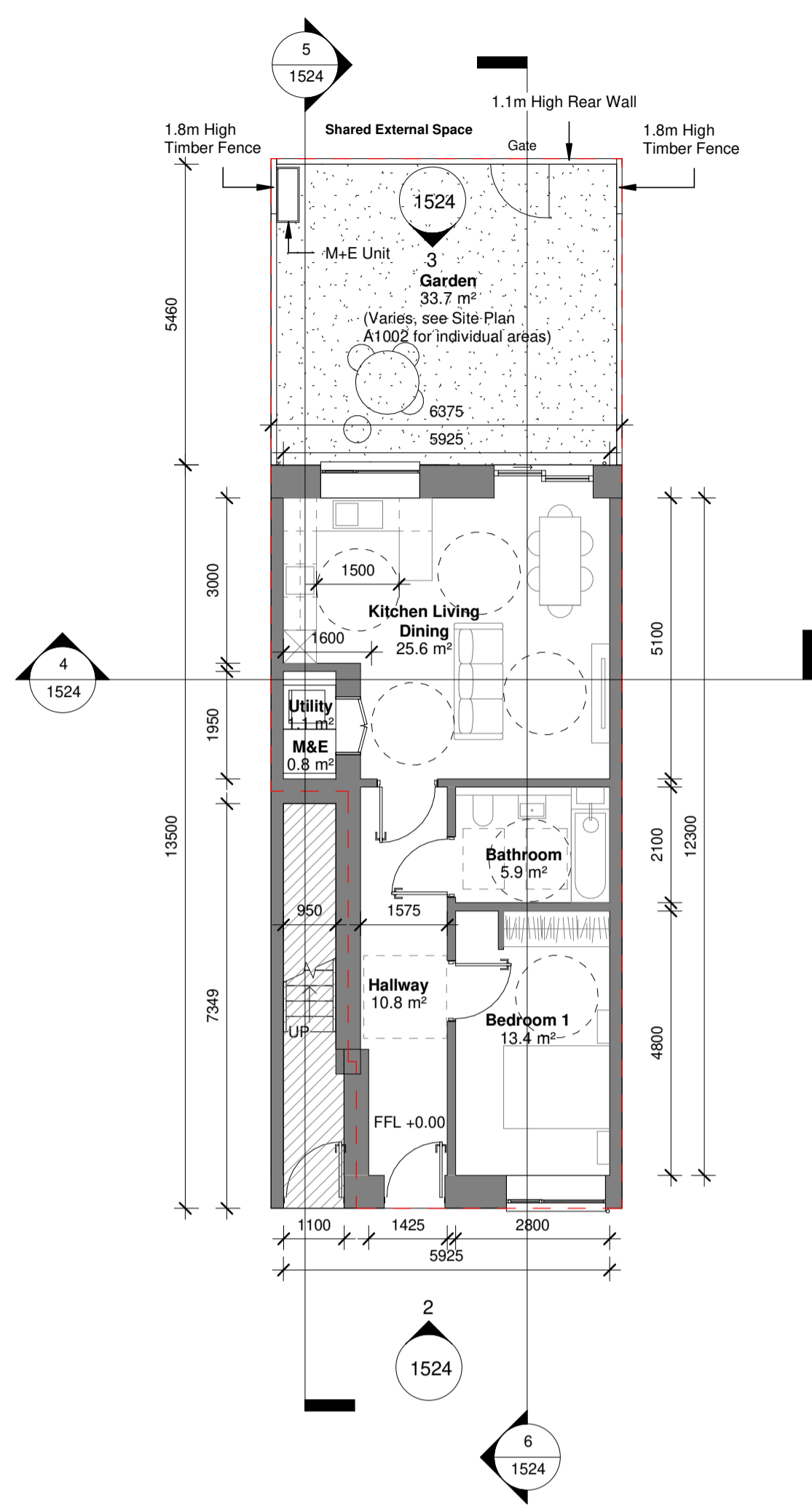
NOTE: Side elevations and gable ends may vary. See site plan and architectural design statement.

M5 - 1 Bed, 2 Person Terrace Maisonette Lower		
Name	Target Areas (m ²)	Proposed Areas (m ²)
Kitchen Living Dining	23.0 m ²	25.6 m ²
Bedroom 1	13.0 m ²	13.4 m ²
Gross Floor Area	45.0 m ²	62.5 m ²
Internal area excluding stair void	45.0 m ²	62.5 m ²
Aggregate Living	23.0 m ²	25.6 m ²
Private Amenity	5.0 m ²	33.7 m ²

Based on the Sustainable Urban Housing Design Standards for New Apartments Guidelines (Dec 2020)

Entrance, Bedroom, Kitchen, Living, Dining and Bathroom spaces all designed according to Universal Design Guidelines for Homes in Ireland (2015).

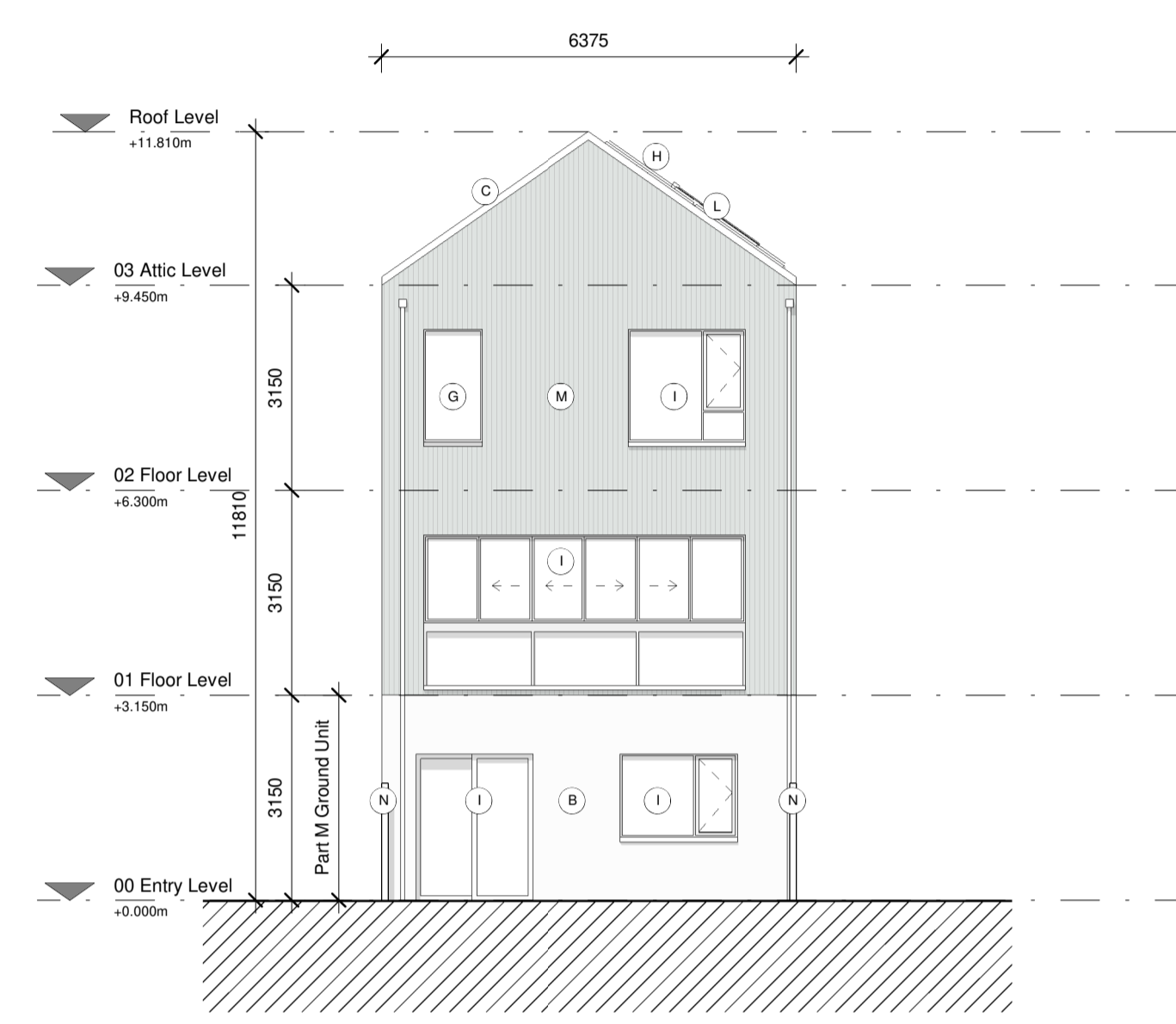
Note: 1500mm turning circles



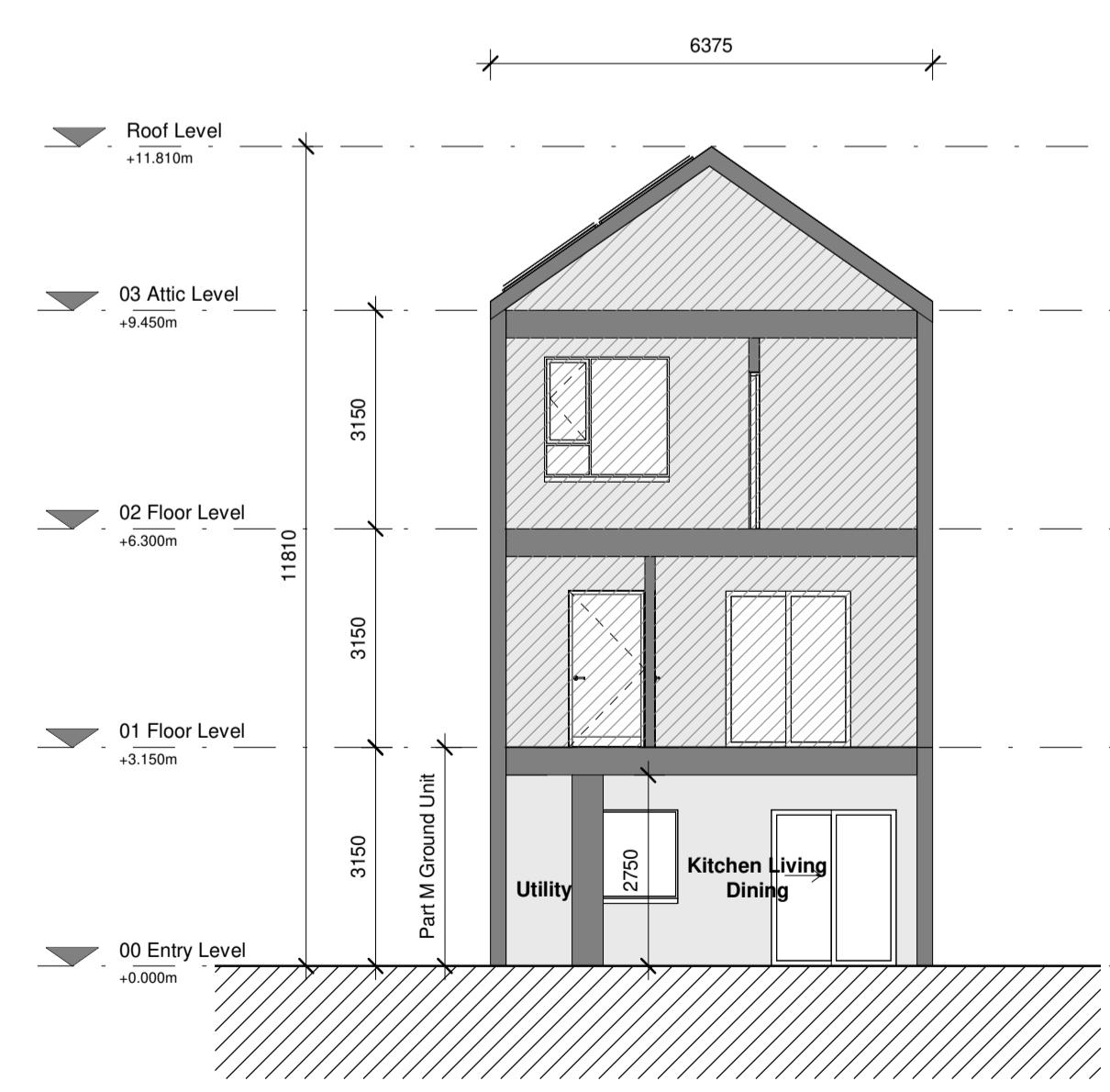
1 Ground Floor (Part M Lower Unit)
1 : 100



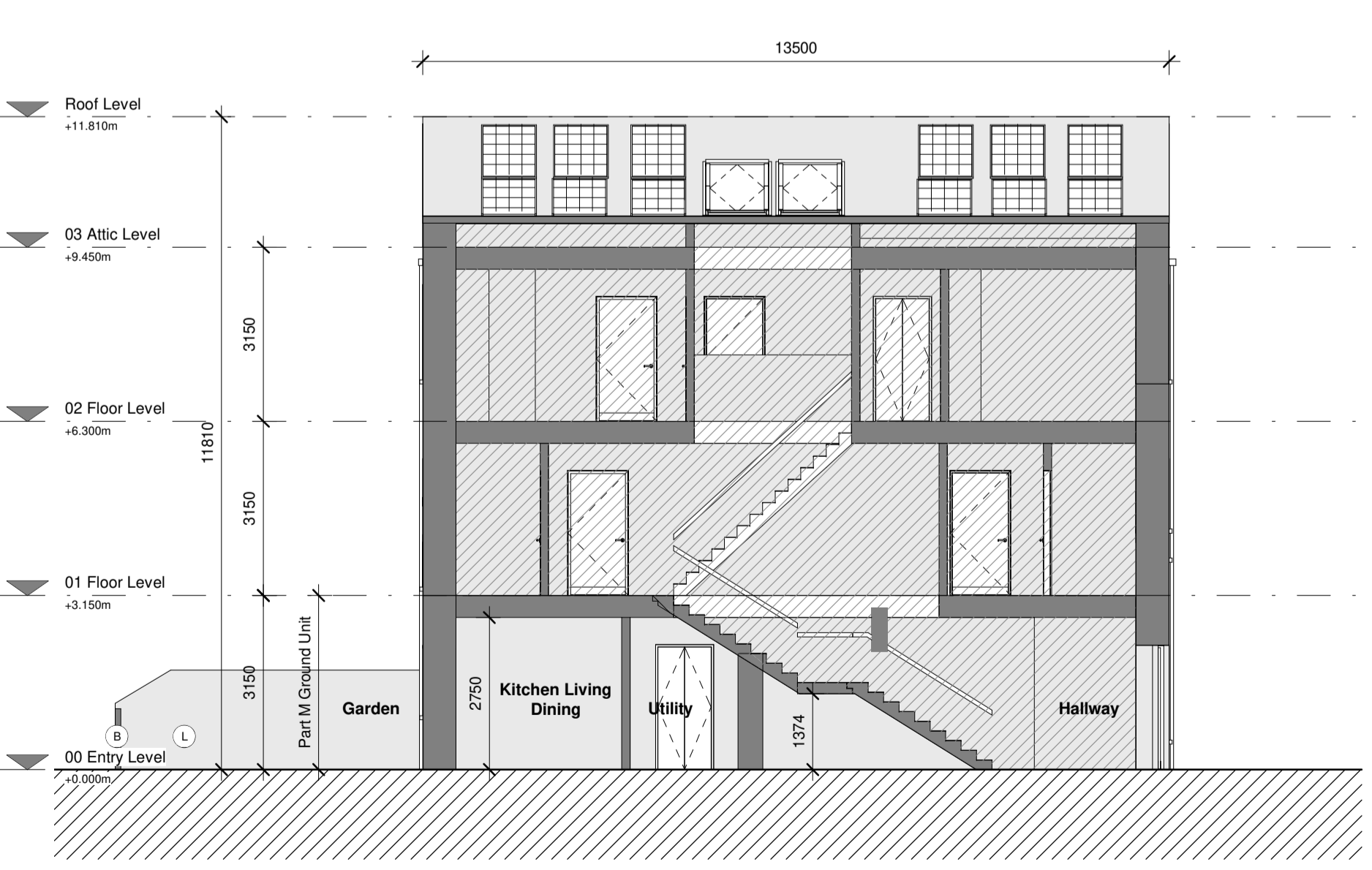
2 Front Elevation
1 : 100



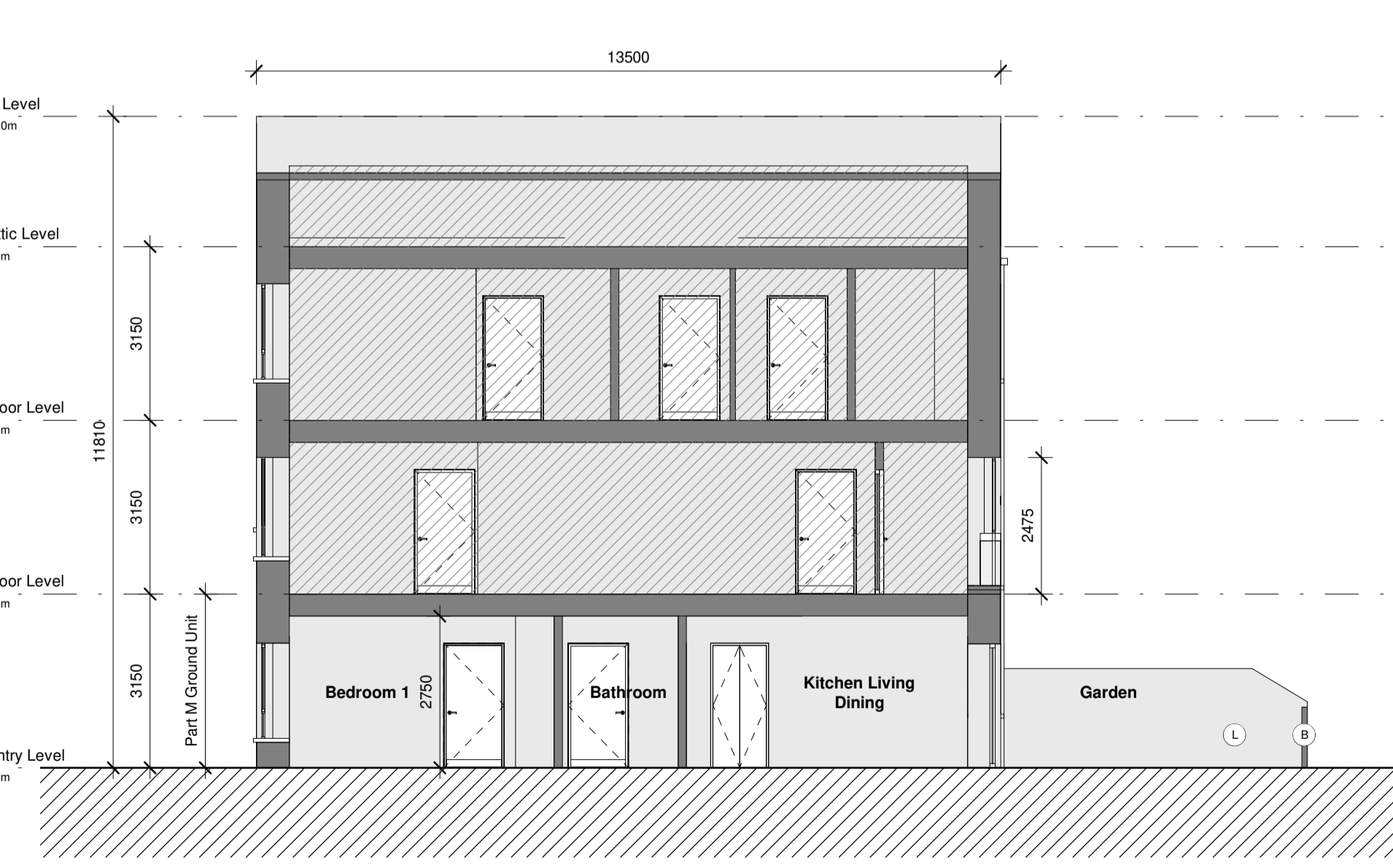
3 Rear Elevation
1 : 100



4 Section A
1 : 100



5 Section B
1 : 100



6 Section C
1 : 100

Rev.	Date	Description
P1	MAY 2022	Planning Submission

Beo Properties Ltd

STATUS **PLANNING**

PROJECT **Ratoath South SHD**

PROJECT ADDRESS **Ratoath South, Co. Meath**

DWG TITLE **Maisonette 3-Storey Lower Unit**

DWG NO. **21088-RKD-ZZ-ZZ-DR-A-1524**

REV.	STATUS	PROJECT NO.
P1	A3	21088
DATE	MAY 2022	DRN JB
SCALE	1 : 100	CHK DC



All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by court proceedings for damages and/or injunctions and costs.

RKD Architects' Quality Management Systems are certified to ISO 9001:2015.

Notes:

UNIT TYPE M6

- Plot Curtilage
- 3 Bed 2 Storey Maisonette
- Part M Ground Unit See Drawing A1524

MATERIALITY KEY

- A Selected Brick Finish
- B Selected Render Finish
- C Roofing Tile
- D Stone Capping
- E Coloured Brick Detail
- F Selected Brick Soldier Course
- G Opaque Glass
- H Solar Panel
- I Aluminium Finished Double Glazed Windows
- J External Bin Store
- K Selected Brick Pattern Detail
- L Roof Window
- M Selected Finish Cladding Board
- N Timber Fence

NOTE: See Architectural Design Statement for selected colours and materials

M6 - 3 Bed, 5 Person Terrace Maisonette Upper

Name	Minimum Area (m2)	Proposed Area (m2)
Kitchen Living Dining	34.0 m ²	40.2 m ²
Bedroom 1	7.1 m ²	9.0 m ²
Bedroom 2	11.4 m ²	12.3 m ²
Master Bedroom	13.0 m ²	17.2 m ²
Gross Floor Area	90.0 m ²	144.3 m ²
Internal area excluding stair void	90.0 m ²	134.8 m ²
Aggregate Bedroom	31.5 m ²	38.5 m ²
Aggregate Living	34.0 m ²	40.2 m ²
Aggregate Storage	9.0 m ²	10.9 m ²
Private Amenity	9.0 m ²	9.0 m ²

Based on the 'Sustainable Urban Housing: Design Standards for New Apartments' Guidelines (Dec 2020)
 Note: These guidelines are based on single floor units

Rev.	Date	Description
P1	MAY 2022	Planning Submission

Beo Properties Ltd

STATUS **PLANNING**

PROJECT **Ratoath South SHD**

PROJECT ADDRESS **Ratoath South, Co. Meath**

DWG TITLE **Maisonette 3 -Storey Upper Unit**

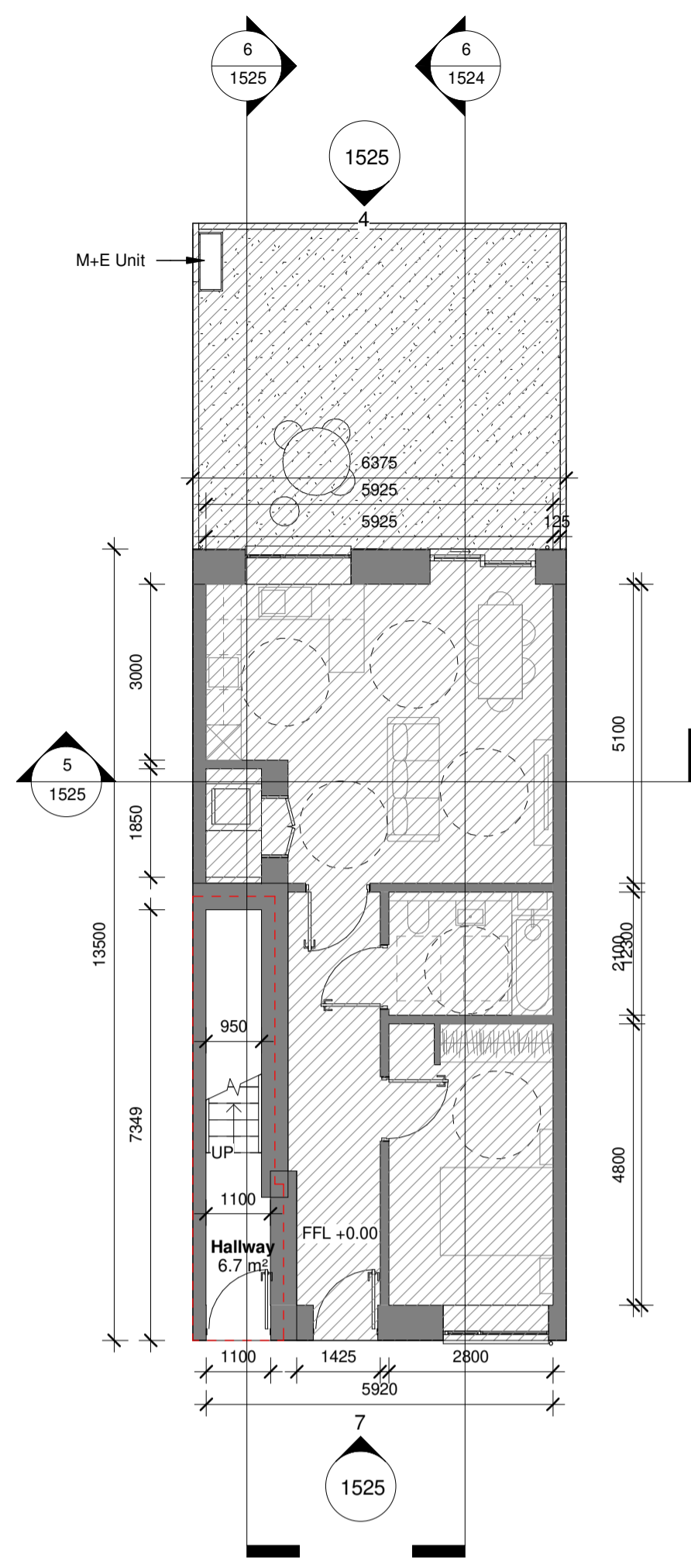
DWG NO. **21088-RKD-ZZ-ZZ-DR-A-1525**

REV.	STATUS	PROJECT NO.
P1	A3	21088

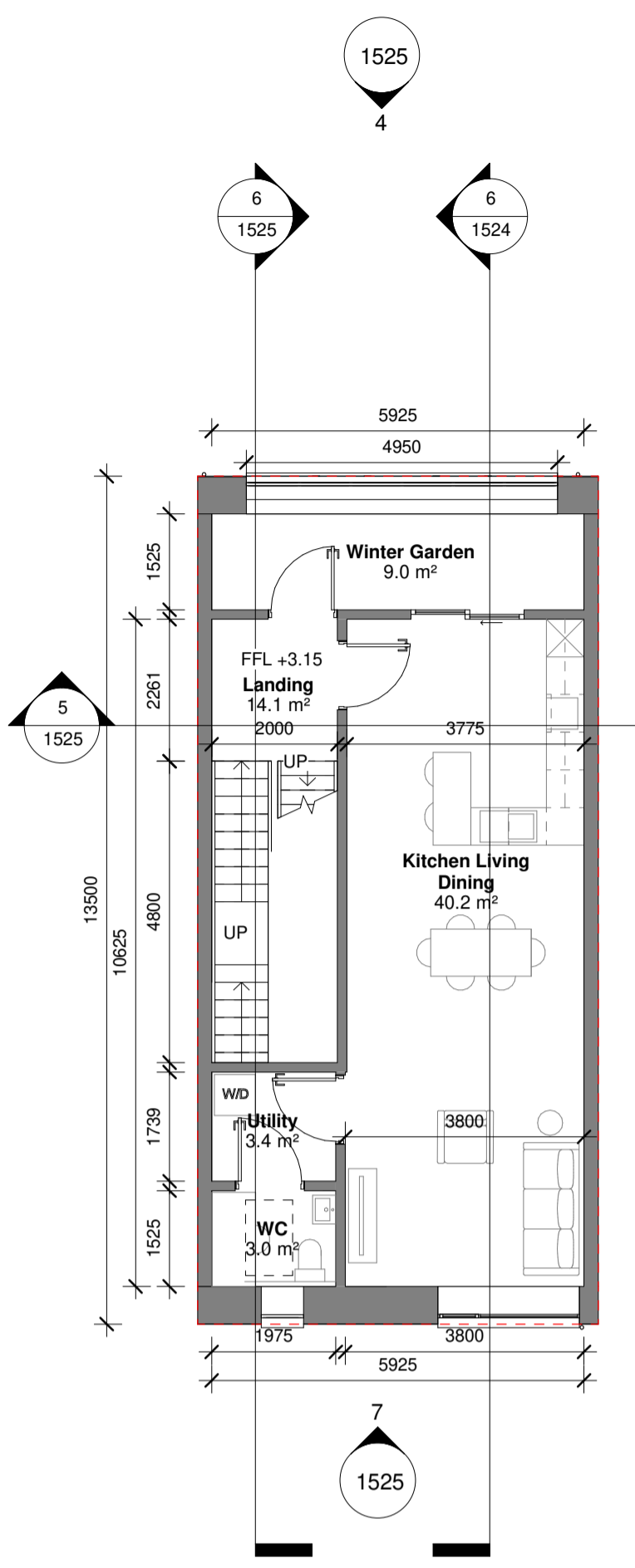
SCALE **1 : 100**
 DATE **MAY 2022** DRN **JB** CHK **DC**

RKD
 59 Northumberland Rd
 Ballsbridge, Dublin 4
 D04 W9P6, Ireland

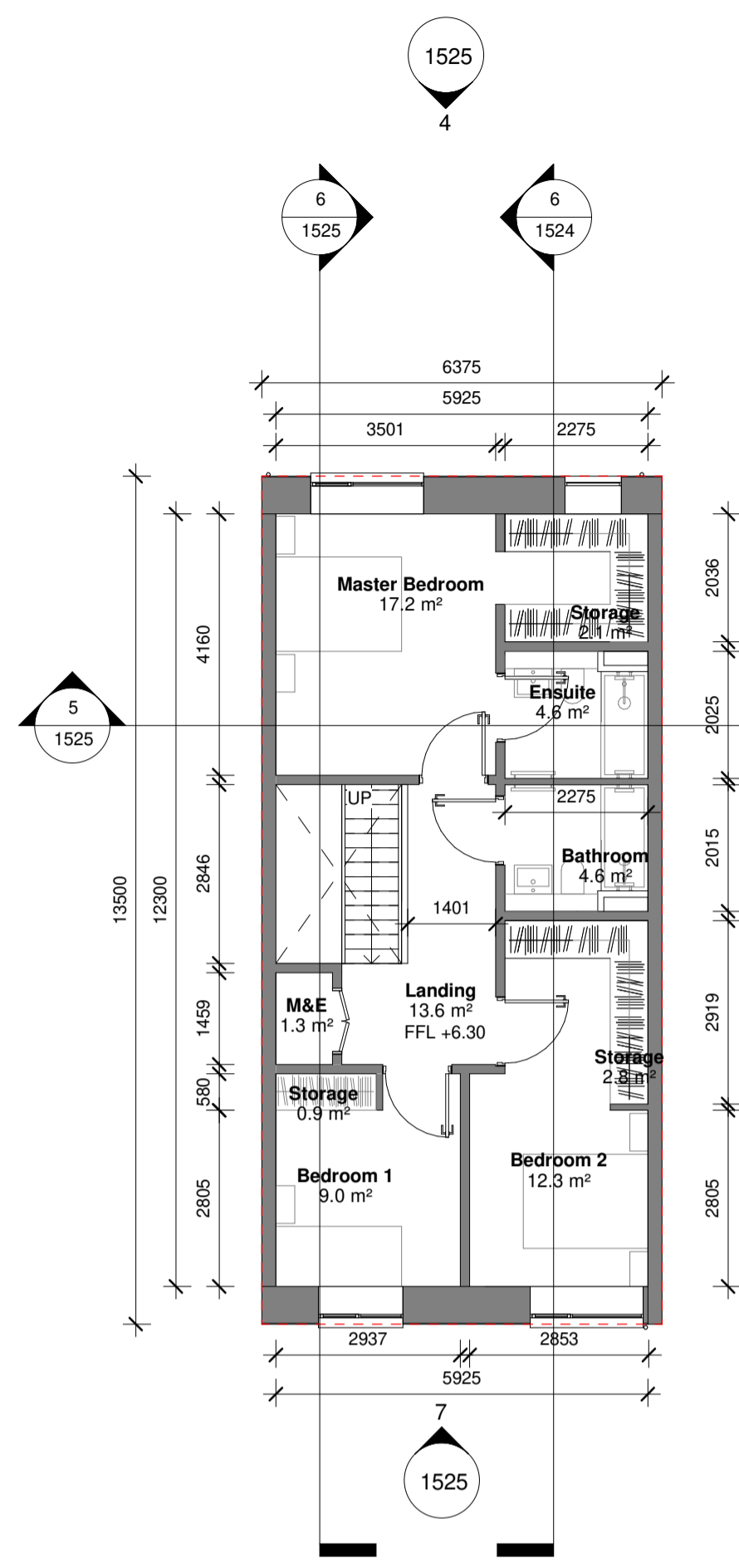
+353 1 668 1055
 mail@rkd.ie
 rkd.ie



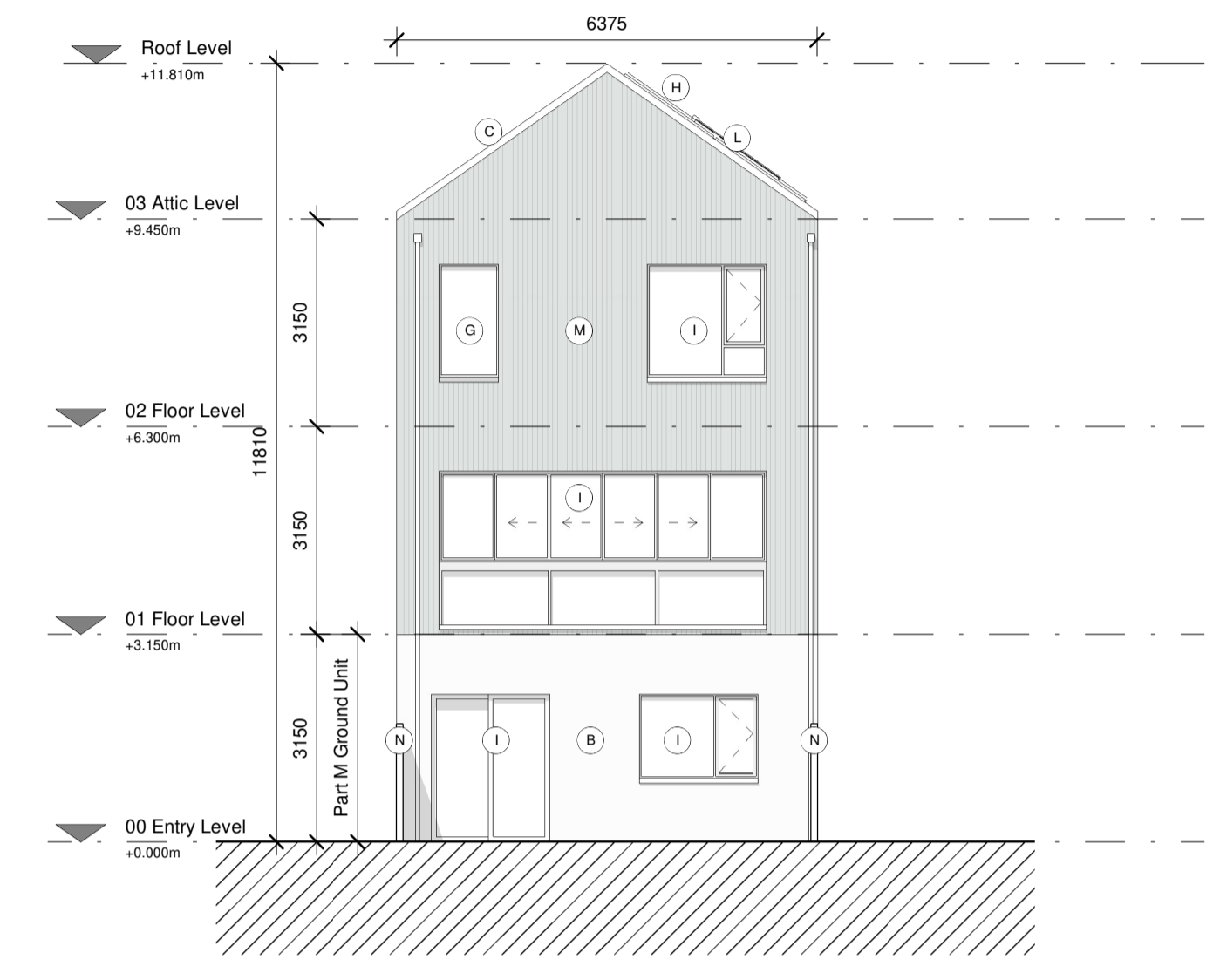
1 Ground Floor (Entrance Level)
1 : 100



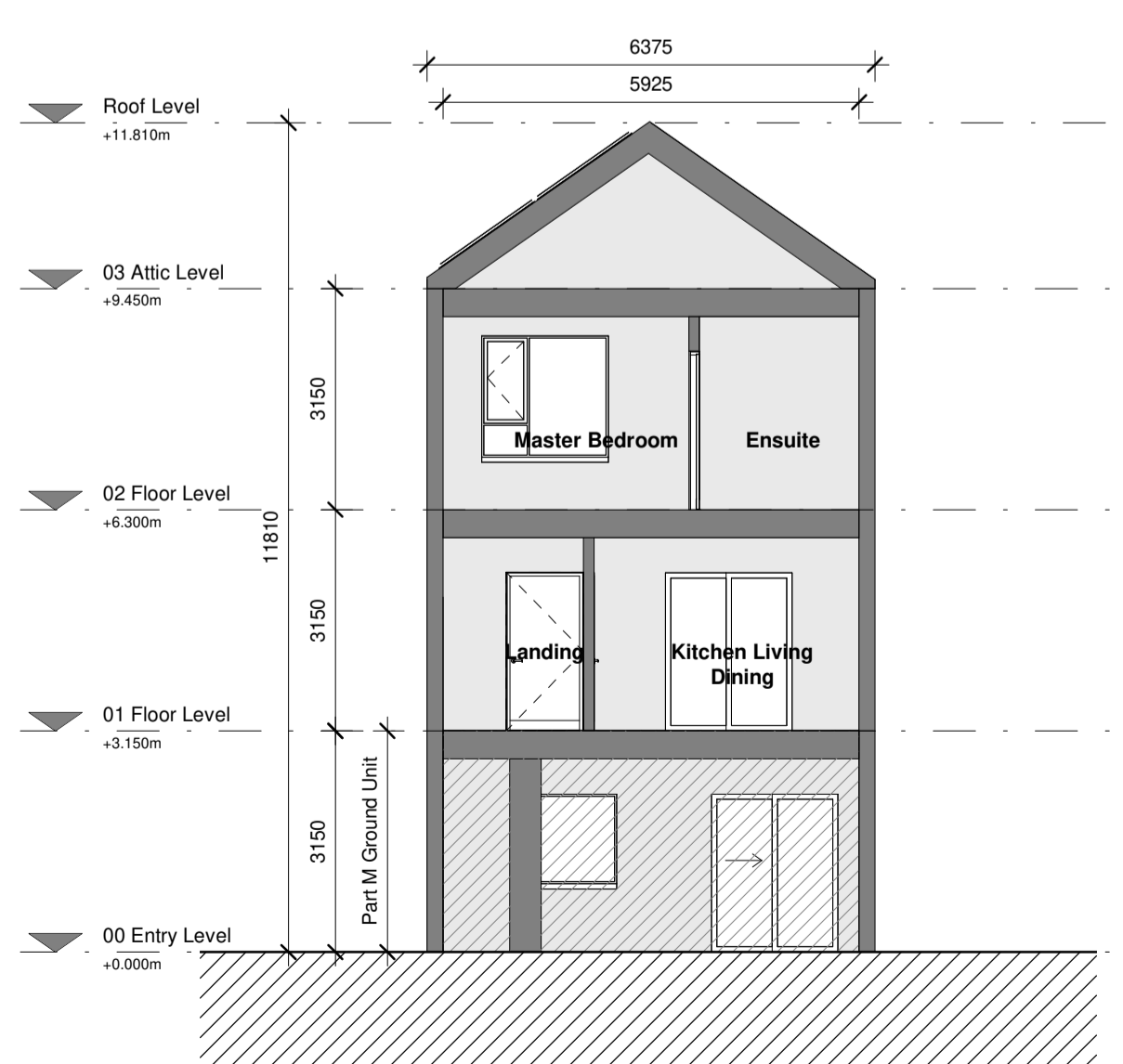
2 First Floor
1 : 100



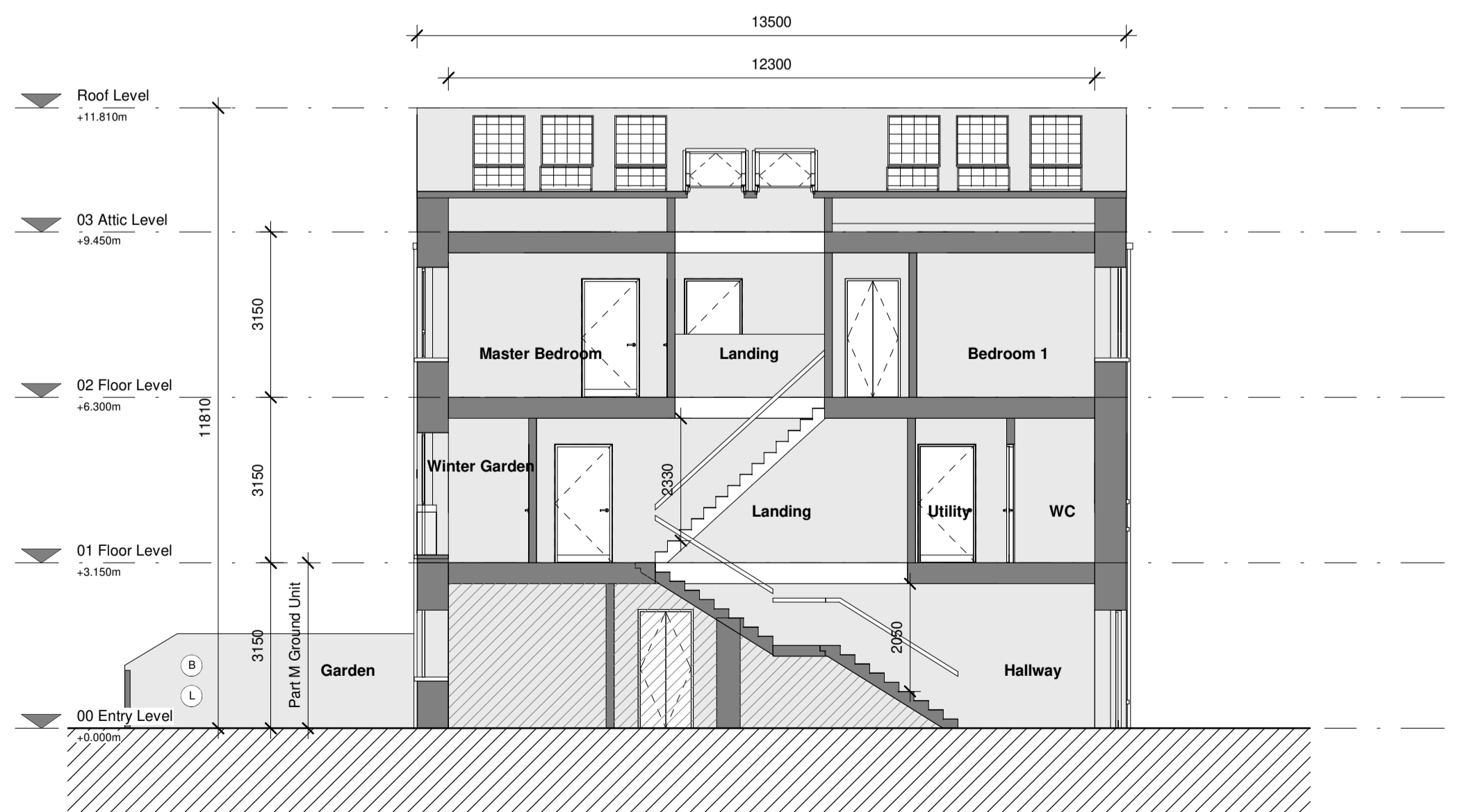
3 Second Floor
1 : 100



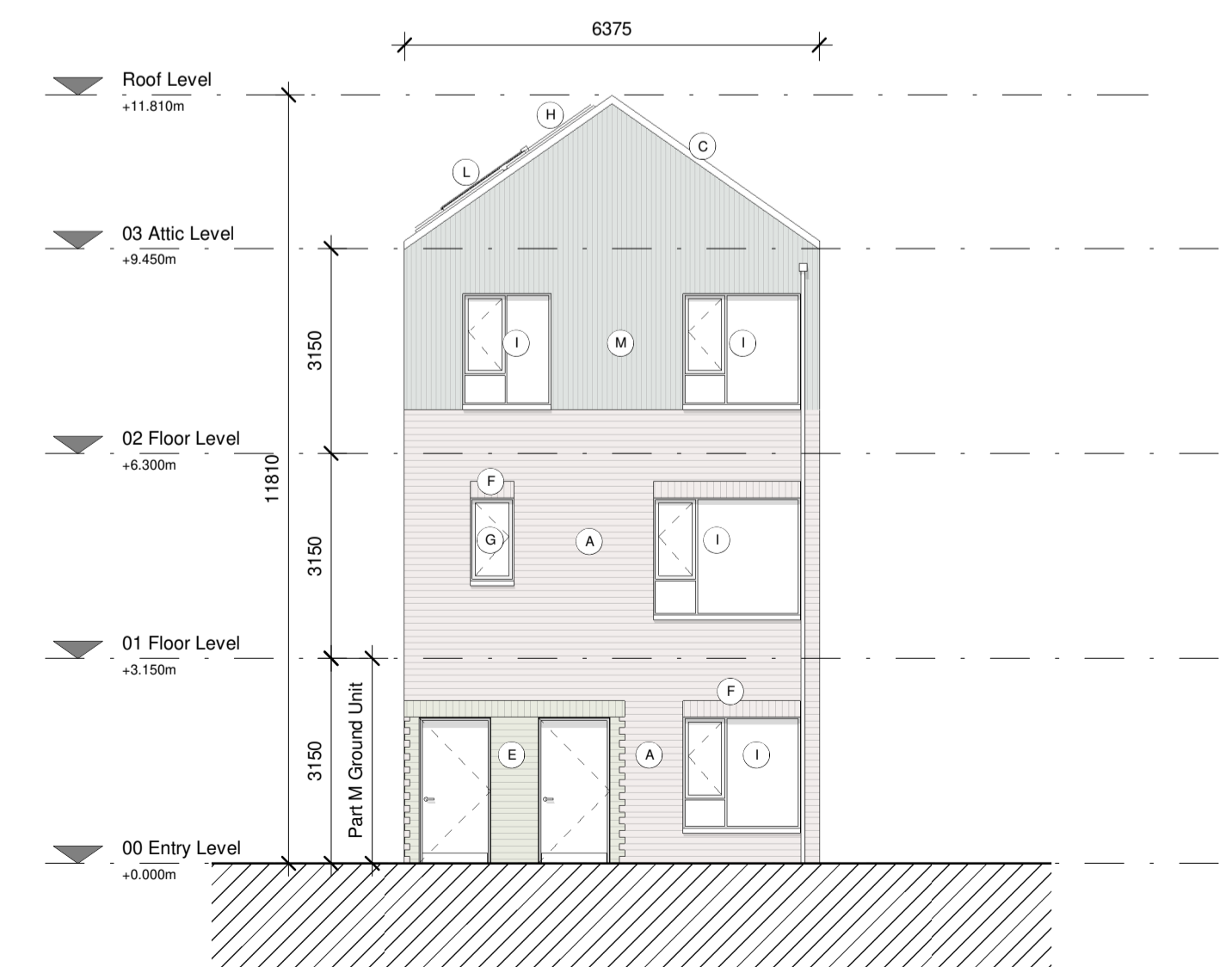
4 Rear Elevation
1 : 100



5 Section A
1 : 100



6 Section B
1 : 100



7 Front Elevation
1 : 100

All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

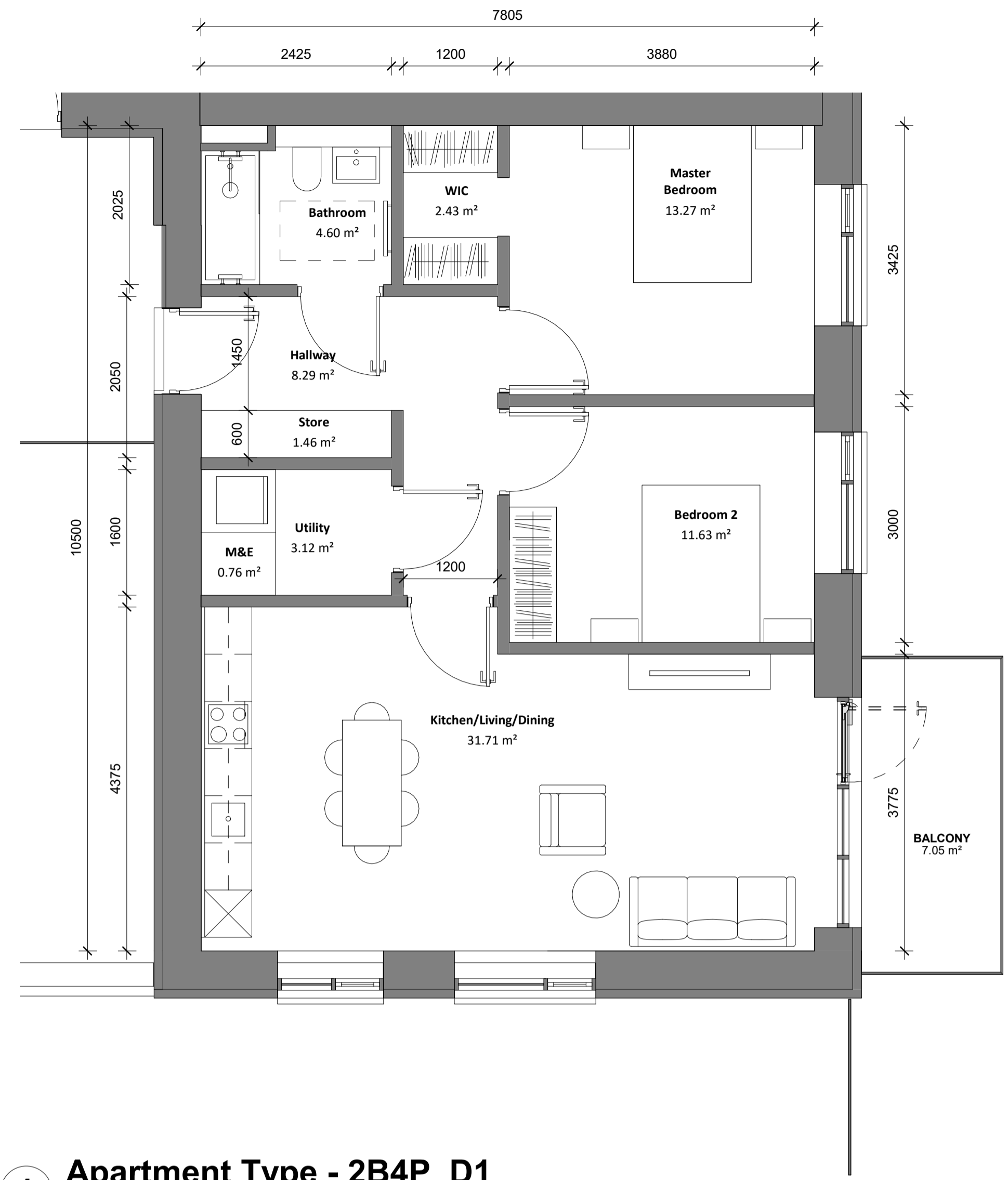
Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by court proceedings for damages and/or injunctions and costs.

RKD Architects' Quality Management Systems are certified to ISO 9001:2015.

Notes:

UNIT TYPE D1
2 Bed Apartment

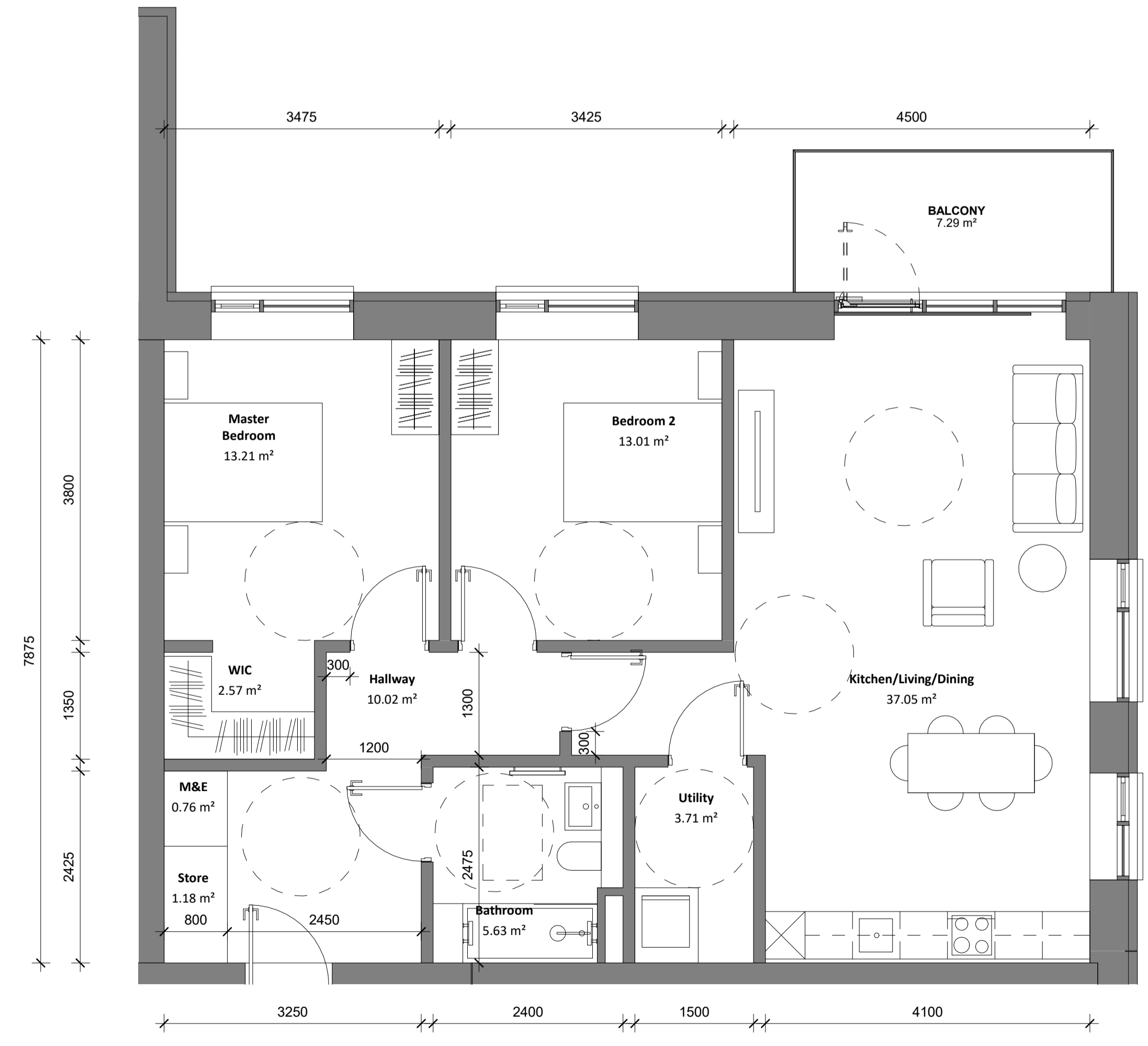
UNIT TYPE D2
2 Bed Apartment



1 Apartment Type - 2B4P_D1
1 : 50

Apartment Type - 2B4P_D1		
Name	Minimum Area (NIA m2)	Area Proposed (NIA m2)
Kitchen/Living/Dining	30.00 m ²	31.71 m ²
Master Bedroom	13.00 m ²	13.27 m ²
Bedroom 2	11.40 m ²	11.63 m ²
GIA Floor Area	73.00 m²	82.58 m²
Aggregate Bedroom	24.40 m ²	24.90 m ²
Aggregate Living Kitchen Dining	30.00 m ²	31.71 m ²
Aggregate Storage	6.00 m ²	7.01 m ²
Private Amenity	7.00 m ²	7.05 m ²

Apartment Type - 2B4P_D2		
Name	Minimum Area (NIA m2)	Area Proposed (GIA m2)
Kitchen/Living/Dining	30.00 m ²	37.05 m ²
Master Bedroom	13.00 m ²	13.21 m ²
Bedroom 2	11.40 m ²	13.01 m ²
GIA Floor Area	73.00 m²	92.88 m²
Aggregate Bedroom	24.40 m ²	26.22 m ²
Aggregate Living Kitchen Dining	30.00 m ²	37.05 m ²
Aggregate Storage	6.00 m ²	7.46 m ²
Private Amenity	7.00 m ²	7.08 m ²



2 Apartment Type - 2B4P_D2
1 : 50

Rev.	Date	Description
P1	May 2022	Planning Submission

Beo Properties Ltd

STATUS **PLANNING**

PROJECT **Ratoath South SHD**

PROJECT ADDRESS **Ratoath South, Co. Meath**

DWG TITLE **APARTMENT D1 & D2
DETAIL DESIGN - PLANS**

DWG NO. **21088-20188-RKD-ZZ-DR-A-1530**

REV.	STATUS	PROJECT NO.
P1	A3	21088
DATE	SCALE	CHK
May 2022	1 : 50	DC

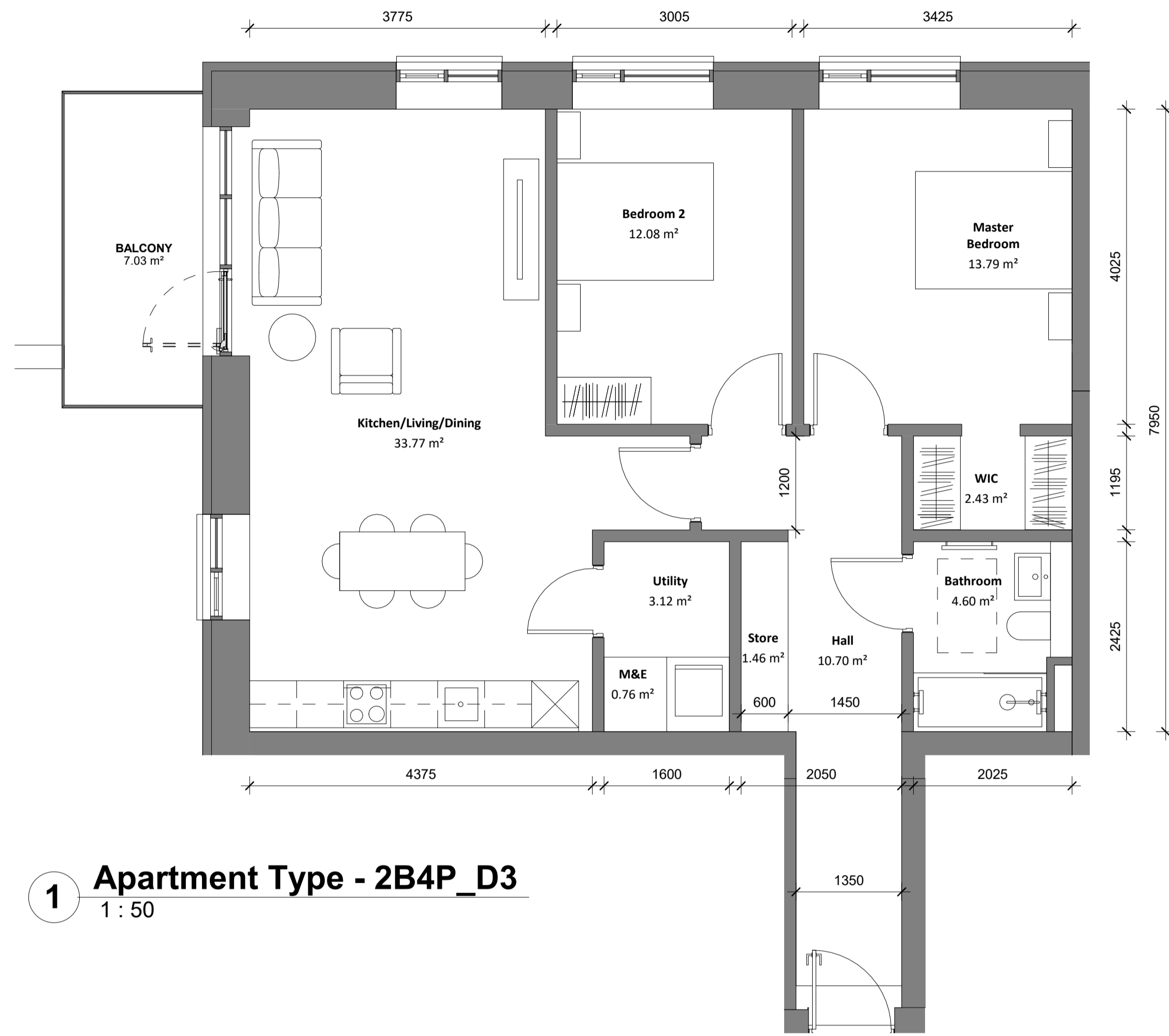
RKD

59 Northumberland Rd
Ballybride, Dublin 4
D04 W9PB, Ireland

+353 1 668 1055
mail@rkd.ie
rkd.ie

UNIT TYPE D3
■ 2 Bed Apartment

Notes:



Apartment Type - 2B4P_D3

Name	Minimum Area (NIA m2)	Area Proposed (NIA m2)
Kitchen/Living/Dining	30.00 m ²	33.77 m ²
Master Bedroom	13.00 m ²	13.79 m ²
Bedroom 2	11.40 m ²	12.08 m ²
GIA Floor Area	73.00 m ²	84.47 m ²
Aggregate Bedroom	24.40 m ²	25.86 m ²
Aggregate Living Kitchen Dining	30.00 m ²	33.77 m ²
Aggregate Storage	7.01 m ²	9.00 m ²
Private Amenity	7.00 m ²	7.03 m ²

1 Apartment Type - 2B4P_D3
 1 : 50

Rev.	Date	Description
P1	May 2022	Planning Submission

Beo Properties Ltd

STATUS **PLANNING**

PROJECT **Ratoath South SHD**

PROJECT ADDRESS **Ratoath South, Co. Meath**

DWG TITLE **APARTMENT D3 & D4**
DETAIL DESIGN - PLANS

DWG NO **21088-20188-RKD-ZZ-DR-A-1531**

REV.	STATUS	PROJECT NO.
P1	A3	21088

DATE	DRN	ROC	CHK	DC
May 2022				

Apartment Block A Typical Floor Plan

All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

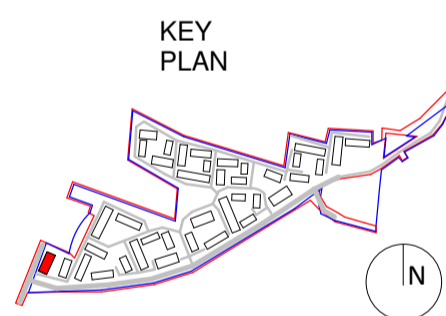
Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by court proceedings for damages and/or injunctions and costs.

RKD Architects' Quality Management Systems are certified to ISO 9001:2015.

- Notes:
- USE
 - 2B4P D1 APT
 - 2B4P D2 APT
 - 2B4P D3 APT
 - 3B5P D4 APT
 - BACK OF HOUSE
 - COMMUNAL AREAS
 - BIKE STORAGE
 - REFUSE STORE

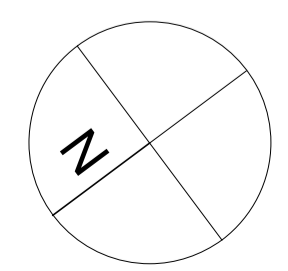


1 Fourth Floor Plan - GA
1 : 100



Rev.	Date	Description
P1	May 2022	Planning Submission

Beo Properties Ltd					
STATUS	PLANNING				
PROJECT	Ratoath South SHD				
PROJECT ADDRESS	Ratoath South, Co. Meath				
DWG TITLE	Apartment Block A - Level 04				
DWG NO.	21088-RKD-ZZ-04-DR-A-1104-A				
REV.	P1	STATUS	A3	PROJECT NO.	21088
DATE	May 2022	DRN	ROC	CHK	DC



All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

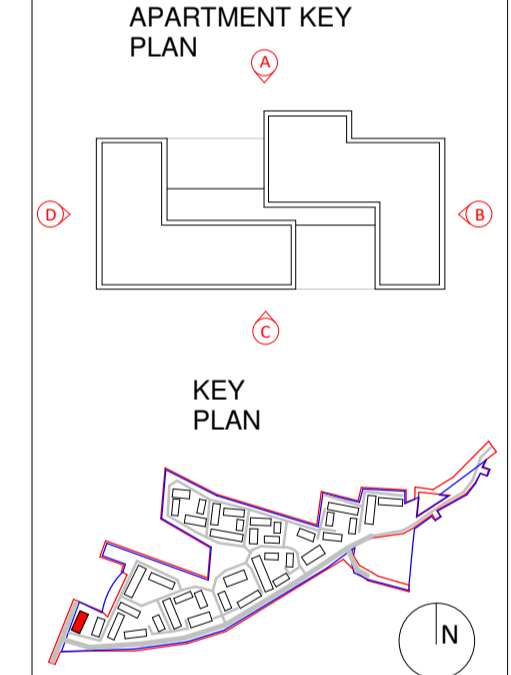
Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by court proceedings for damages and/or injunctions and costs.

RKD Architects' Quality Management Systems are certified to ISO 9001:2015.

- USE**
- 2B4P D1 APT
 - 2B4P D2 APT
 - 2B4P D3 APT
 - 3B5P D4 APT
 - BACK OF HOUSE
 - COMMUNAL AREAS
 - BIKE STORAGE
 - REFUSE STORE

- MATERIALITY KEY**
- (A) Selected Brick Finish
 - (B) Aluminium Finished Double Glazed Windows
 - (C) Aluminium Balcony Railing
 - (D) Precast Sills
 - (E) Perforated Metal Screens
 - (F) Selected Coloured Brick
 - (G) Selected Brick Soldier Course
 - (H) Selected Render Finish

NOTE: SAME ELEVATIONS FOR APARTMENT BLOCKS A & C



Rev.	Date	Description
P1	May 2022	Planning Submission

Beo Properties Ltd

STATUS **PLANNING**

PROJECT **Ratoath South SHD**

PROJECT ADDRESS **Ratoath South, Co. Meath**

DWG TITLE **Apt Block A - Elevations Sheet 1 of 2**

DWG NO **21088-RKD-ZZ-ZZ-DR-A-1310-A**

REV.	STATUS	PROJECT NO.	SCALE
P1	A3	21088	1 : 100

DATE **May 2022** DRN **CNAB** CHK **DC**



1 Elevation A
1 : 100



2 Elevation B
1 : 100

All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

Copyright and ownership of this drawing is vested in RKD Architects, whose prior written consent is required for its use, reproduction or for publication to any third party. All rights reserved by the law of copyright and by international copyright conventions are reserved to RKD Architects and may be protected by law proceedings for damages and/or injunctions and costs.

RKD Architects' Quality Management Systems are certified to ISO 9001:2015.



1 Elevation C
1 : 100

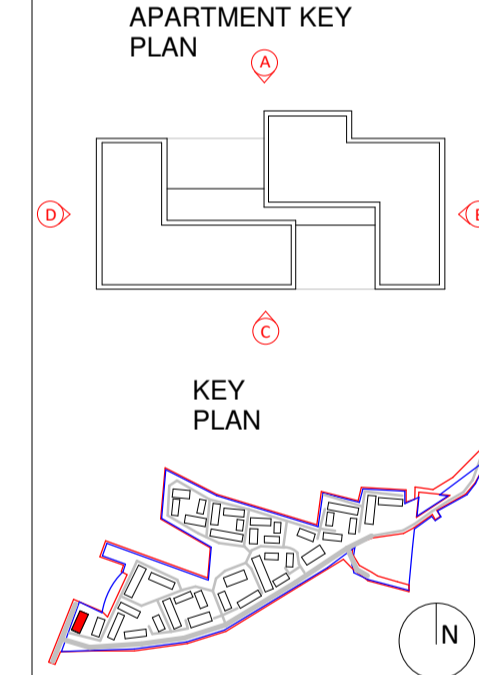


2 Elevation D
1 : 100

- USE**
- 2B4P D1 APT
 - 2B4P D2 APT
 - 2B4P D3 APT
 - 3B5P D4 APT
 - BACK OF HOUSE
 - COMMUNAL AREAS
 - BIKE STORAGE
 - REFUSE STORE

- MATERIALITY KEY**
- (A) Selected Brick Finish
 - (B) Aluminium Finished Double Glazed Windows
 - (C) Aluminium Balcony Railing
 - (D) Precast Sills
 - (E) Perforated Metal Screens
 - (F) Selected Coloured Brick
 - (G) Selected Brick Soldier Course
 - (H) Selected Render Finish

NOTE: SAME ELEVATIONS FOR APARTMENT BLOCKS A & C



Rev.	Date	Description
P1	May 2022	Planning Submission

Beo Properties Ltd

STATUS **PLANNING**

PROJECT **Ratoath South SHD**

PROJECT ADDRESS **Ratoath South, Co. Meath**

DWG TITLE **Apt Block A - Elevations Sheet 2 of 2**

DWG NO **21088-RKD-ZZ-ZZ-DR-A-1311-A**

REV.	STATUS	PROJECT NO.
P1	A3	21088

SCALE **1 : 100**

DATE **May 2022** DRN **CNAB** CHK **DC**

